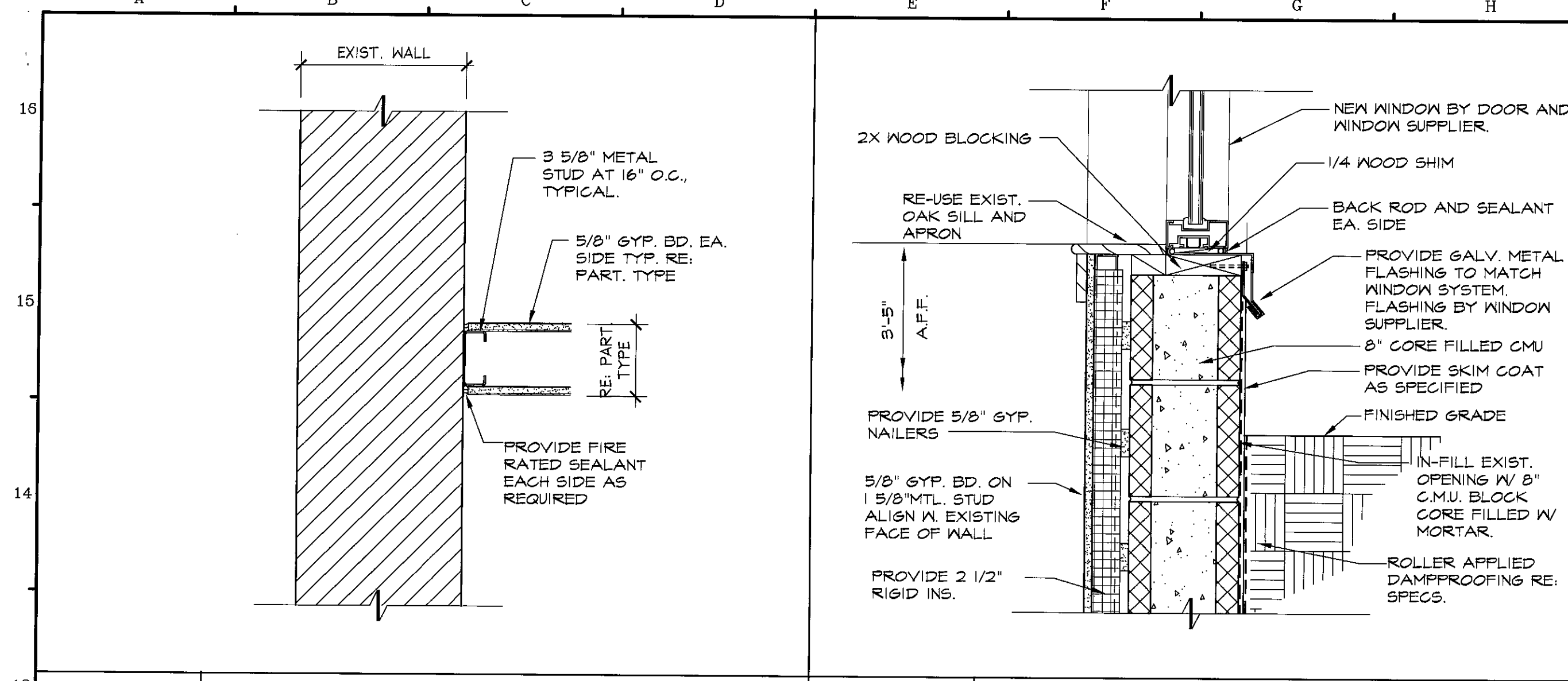
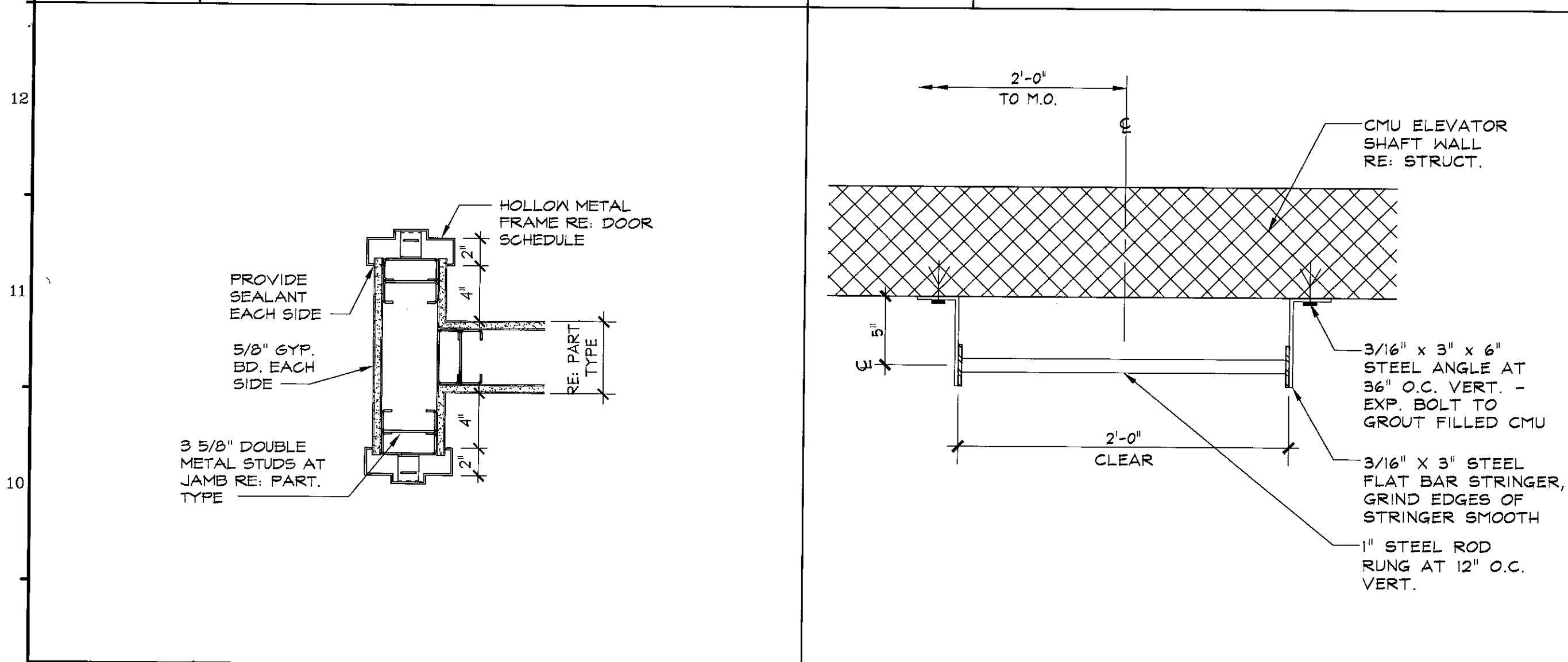




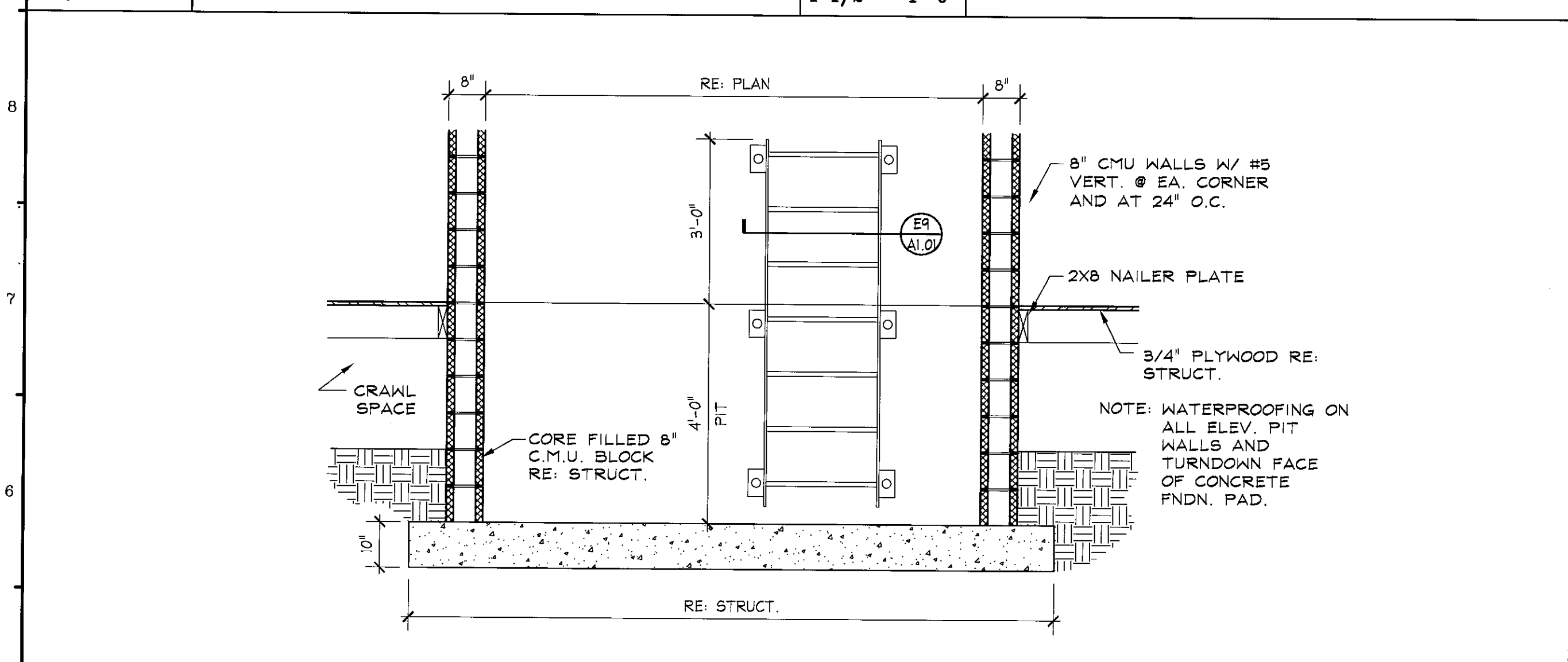
A13 PLAN DETAIL
1 1/2" = 1'-0"

E13 WINDOW JAMB
1 1/2" = 1'-0"

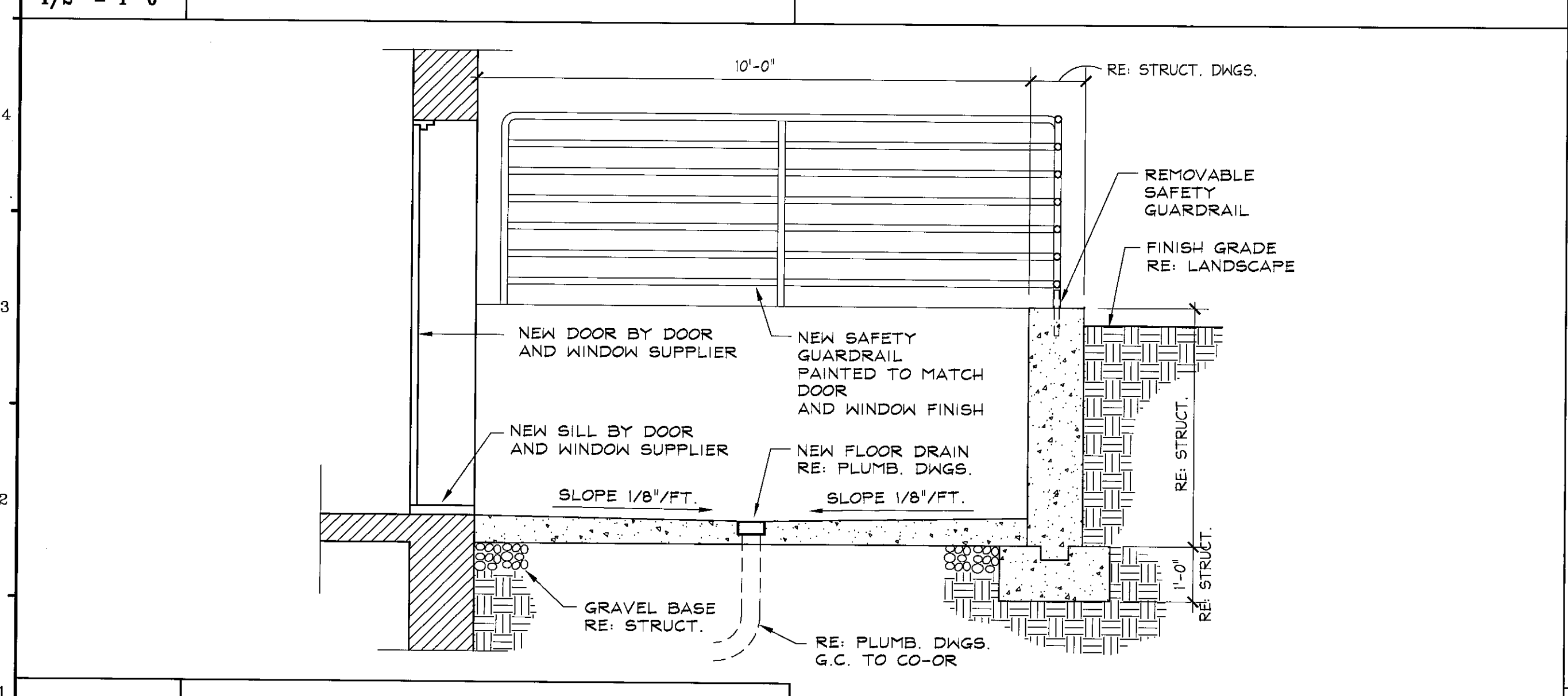


A9 PLAN DETAIL
1 1/2" = 1'-0"

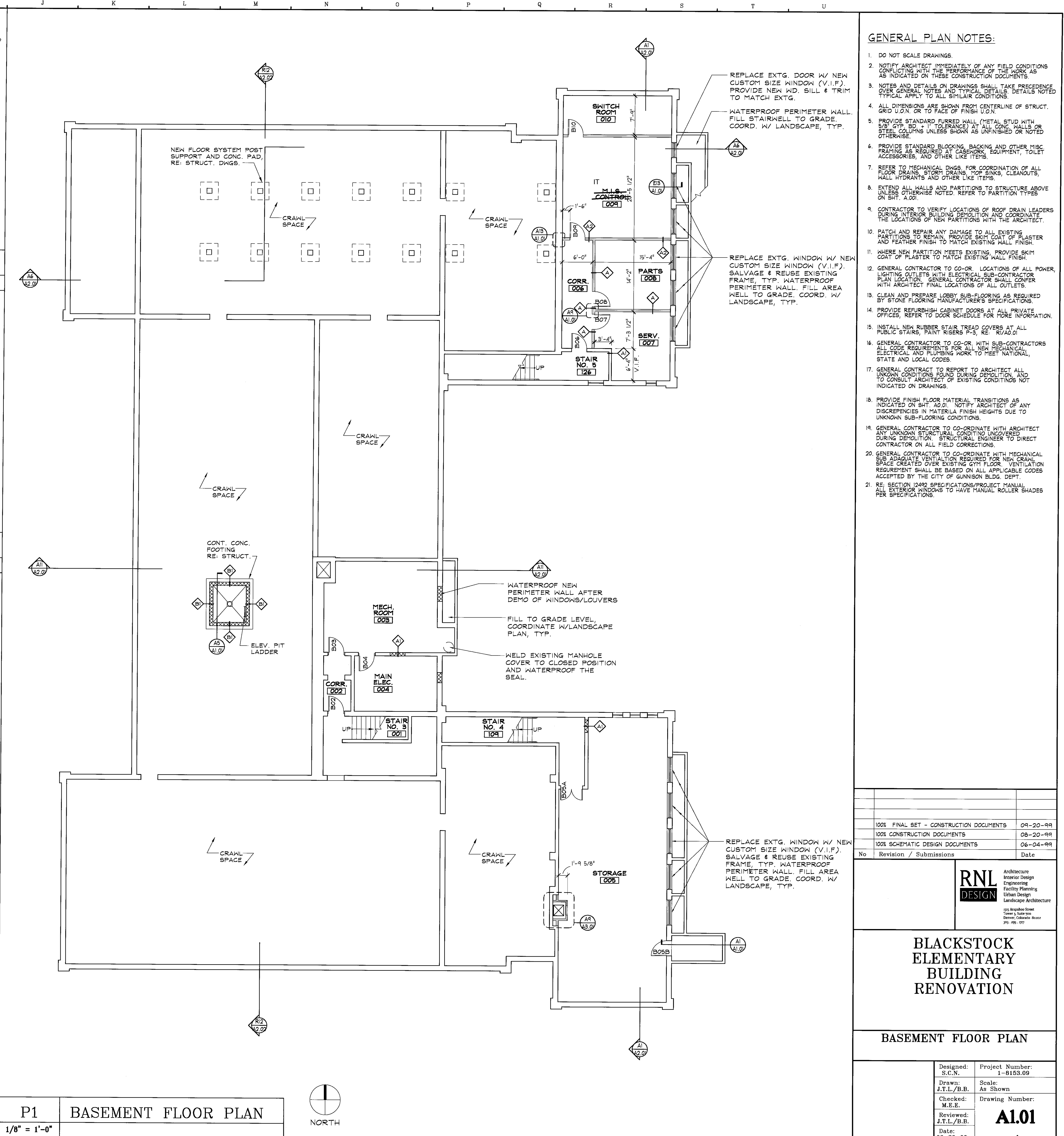
E9 LADDER DETAIL
1 1/2" = 1'-0"



A5 SECTION AT ELEV. PIT
1/2" = 1'-0"



A1 SECTION AT HOIST PIT
1/2" = 1'-0"



GENERAL PLAN NOTES:

- DO NOT SCALE DRAWINGS.
- NOTIFY ARCHITECT IMMEDIATELY OF ANY FIELD CONDITIONS CONFLICTING WITH THE PERFORMANCE OF THE WORK AS INDICATED ON THESE CONSTRUCTION DOCUMENTS.
- NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. DETAILS NOTED TYPICAL APPLY TO ALL SIMILAR CONDITIONS.
- ALL DIMENSIONS ARE SHOWN FROM CENTERLINE OF STRUCT. GRID U.O.N. OR TO FACE OF FINISH U.O.N.
- PROVIDE STANDARD FURRED WALL (METAL STUD W/ 5/8\"/>
- PROVIDE STANDARD BLOCKING, BACKING AND OTHER MISC. FRAMING AS REQUIRED AT CASEWORK, EQUIPMENT, TOILET ACCESSORIES, AND OTHER LIKE ITEMS.
- REFER TO MECHANICAL DWGS. FOR COORDINATION OF ALL FLOOR DRAIN, STORM DRAIN, SINKS, CLEANOUTS, WALL HYDRANTS AND OTHER LIKE ITEMS.
- EXTEND ALL WALLS AND PARTITIONS TO STRUCTURE ABOVE UNLESS OTHERWISE NOTED. REFER TO PARTITION TYPES ON SHT. A-001.
- CONTRACTOR TO VERIFY LOCATIONS OF ROOF DRAIN LEADERS DURING INTERIOR BUILDING DEMOLITION AND COORDINATE THE LOCATIONS OF NEW PARTITIONS WITH THE ARCHITECT.
- PATCH AND REPAIR ANY DAMAGE TO ALL EXISTING PARTITIONS TO REMAIN, PROVIDE SKIM COAT OF PLASTER AND FEATHER FINISH TO MATCH EXISTING WALL FINISH.
- WHERE NEW PARTITION MEETS EXISTING, PROVIDE SKIM COAT OF PLASTER TO MATCH EXISTING WALL FINISH.
- GENERAL CONTRACTOR TO CO-ORD. LOCATIONS OF ALL POWER, LIGHTING OUTLETS WITH ELECTRICAL SUB-CONTRACTOR. PLAN LOCATION. GENERAL CONTRACTOR SHALL CONFER WITH ARCHITECT FINAL LOCATIONS OF ALL OUTLETS.
- CLEAN AND PREPARE LOBBY SUB-FLOORING AS REQUIRED BY STONE FLOORING MANUFACTURER'S SPECIFICATIONS.
- PROVIDE REFURBISHED CABINET DOORS AT ALL PRIVATE OFFICES. REFER TO DOOR SCHEDULE FOR MORE INFORMATION.
- INSTALL NEW RUBBER STAIR TREAD COVERS AT ALL PUBLIC STAIRS, PAINT RISERS P-3, RE: R1/A0.01.
- GENERAL CONTRACTOR TO CO-ORD. WITH SUB-CONTRACTORS ALL CODE REQUIREMENTS FOR ALL NEW MECHANICAL, ELECTRICAL AND PLUMBING WORK TO MEET NATIONAL, STATE AND LOCAL CODES.
- GENERAL CONTRACT TO REPORT TO ARCHITECT ALL UNKNOWN CONDITIONS FOUND DURING DEMOLITION AND TO CONSULT ARCHITECT OF EXISTING CONDITIONS NOT INDICATED ON DRAWINGS.
- PROVIDE FINISH FLOOR MATERIAL TRANSITIONS AS INDICATED ON SHT. A-001. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN MATERIAL FINISH HEIGHTS DUE TO UNKNOWN SUB-FLOORING CONDITIONS.
- GENERAL CONTRACTOR TO CO-ORDINATE WITH ARCHITECT ANY UNKNOWN STRUCTURAL CONDITIONS UNCOVERED DURING DEMOLITION. STRUCTURAL ENGINEER TO DIRECT CONTRACTOR ON ALL FIELD CORRECTIONS.
- GENERAL CONTRACTOR TO CO-ORDINATE WITH MECHANICAL SUBS ADEQUATE VENTILATION REQUIRED FOR NEW CRAWL SPACE CREATED OVER EXISTING GYM FLOOR. VENTILATION REQUIREMENT SHALL BE BASED ON ALL APPLICABLE CODES ACCEPTED BY THE CITY OF GUNNSON BLDG. DEPT.
- RE: SECTION 12492 SPECIFICATIONS/PROJECT MANUAL ALL EXTERIOR WINDOWS TO HAVE MANUAL ROLLER SHADES PER SPECIFICATIONS.

100% FINAL SET - CONSTRUCTION DOCUMENTS	09-20-99
100% CONSTRUCTION DOCUMENTS	08-20-99
100% SCHEMATIC DESIGN DOCUMENTS	06-04-99
No Revision / Submissions	Date

RNL DESIGN

Architecture
Interior Design
Engineering
Facility Planning
Urban Design
Landscape Architecture

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Denver, Colorado 80202
(303) 733-0777

BLACKSTOCK
ELEMENTARY
BUILDING
RENOVATION

BASEMENT FLOOR PLAN

Designed: S.C.N.	Project Number: 1-8153.09
Drawn: J.T.L./B.B.	Scale: As Shown
Checked: M.B.E.	Drawing Number: A1.01
Reviewed: J.T.L./B.B.	
Date: 09-29-99	of

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