

ASSET MANAGEMENT

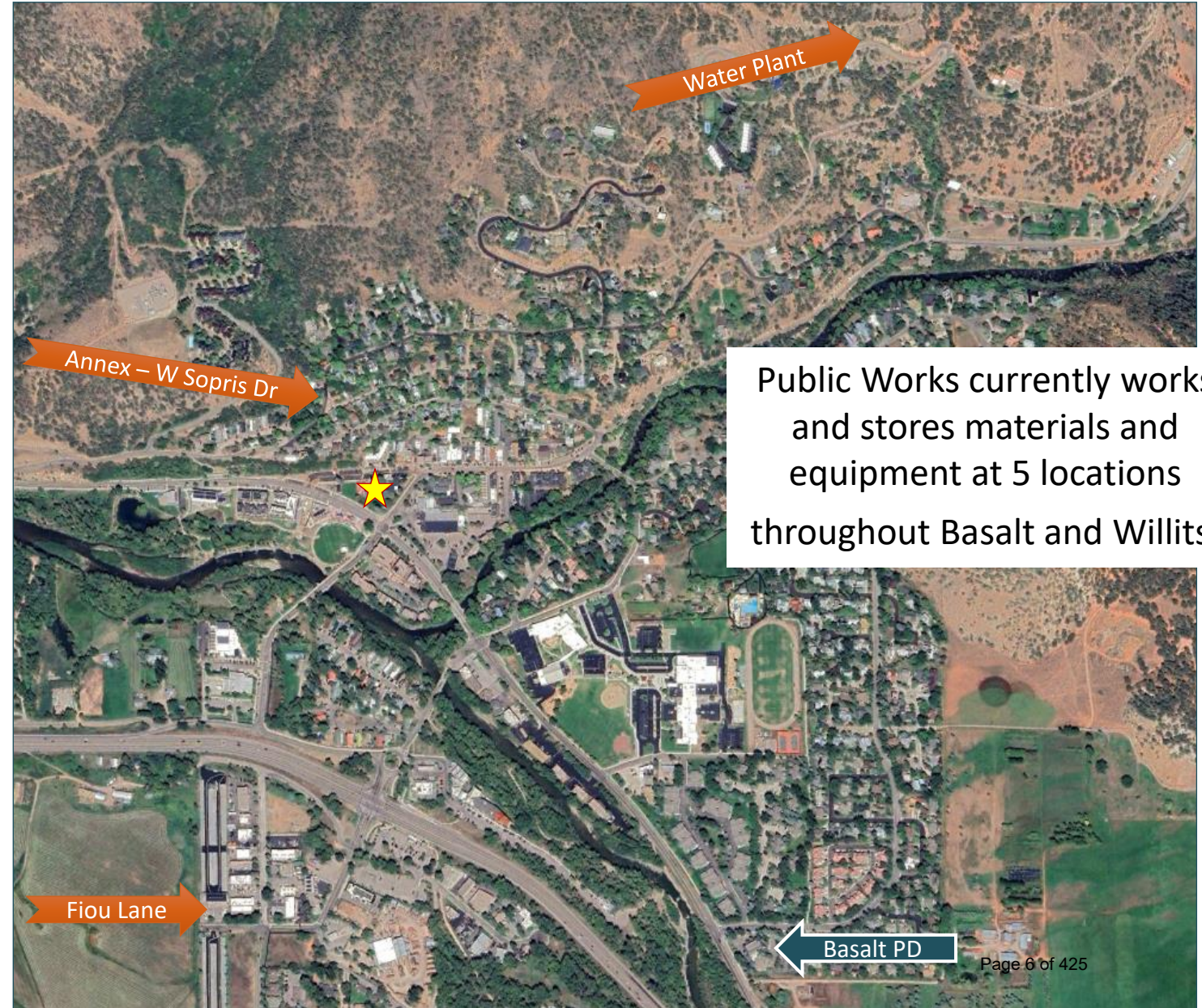
PUBLIC WORKS PROPERTY USES

Overview of Existing Uses & General Needs

In Consideration of a Future

Police & Public Works Campus on Original Rd

Basalt Public Works Properties



Public Works currently works and stores materials and equipment at 5 locations throughout Basalt and Willits.

Water Plant

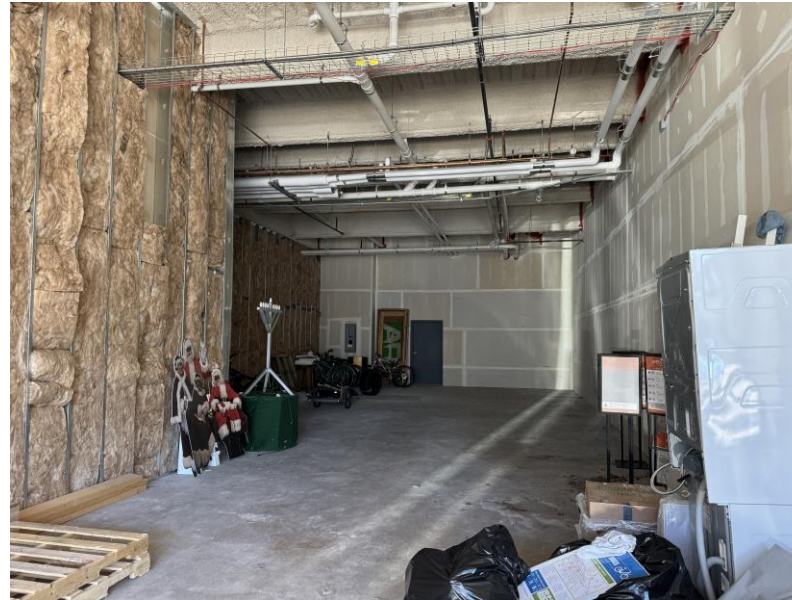
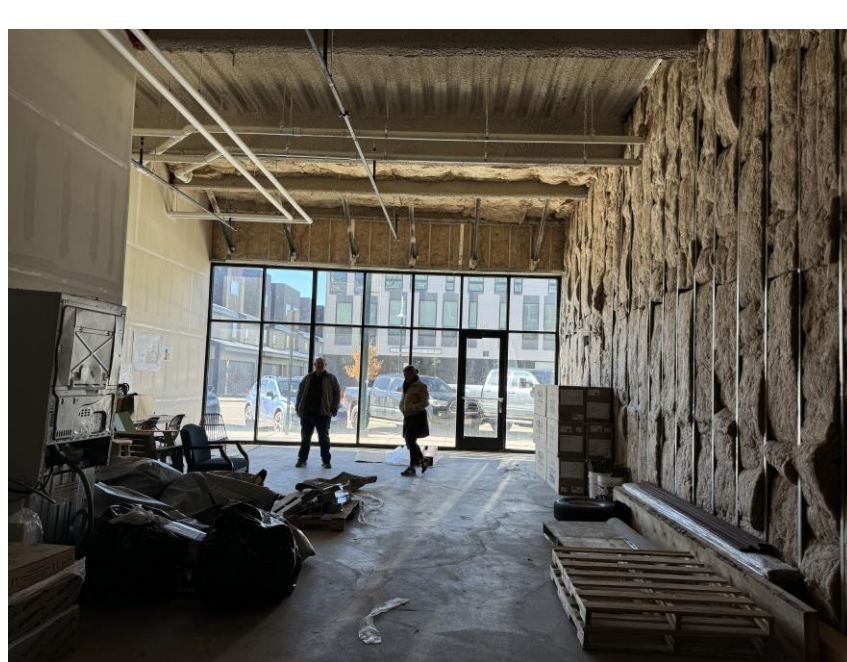
70 sf of office



The water treatment plant currently houses the **Water Treatment Manager's office**, where there is only space for a single employee.

Existing

- 1,800 SF retail space contributing to vacant storefronts in Willits area
- Serving as storage not available in other PW locations - Bicycles, We-cycle, office furniture, Christmas decorations, banners, and other miscellaneous items.



Future Opportunities

- Monetize by leasing or selling space
- \$35/SF/YR average lease rate = potential for \$63,000 annual lease income
- *Replace storage needs at a main PW location*

Block 7 Space

Rugby Office

PWX West

Rugby Office

Existing

- 500 SF of office space for Parks and Forestry (currently 3 staff) - nursery and equipment storage shed

Future Opportunity

- 16-units of affordable housing “Pitchview 16”
- Relocate office, nursery & shed to Main PW location
- Turn space into storage to replace Block 7 usage

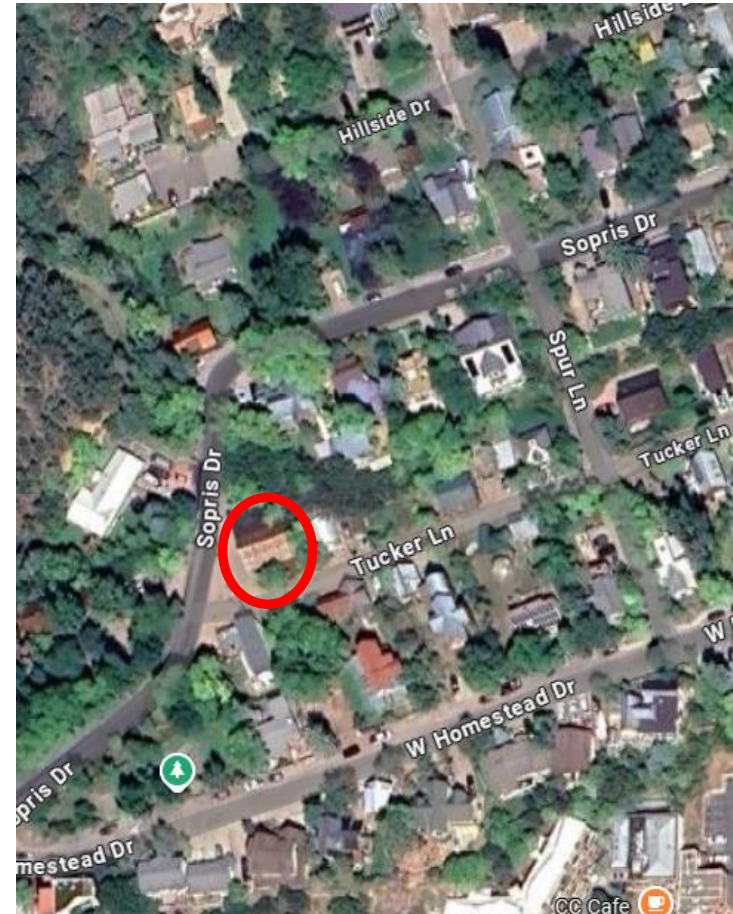


Existing

- 3,000 SF heated storage
- Vermeer, Sweeper, Boom truck, Ventrac (for snow plowing)
- Drinking fountains in the winter
- Irrigation and other facilities supplies
- Sand bags on pallets for flooding

Future Opportunities

- \$700K est value as a FM residential lot
- Create heated storage at PWX West with proceeds+



Fiou Lane Location

Existing

0.5-acre site 4,700 sf office & conditioned storage

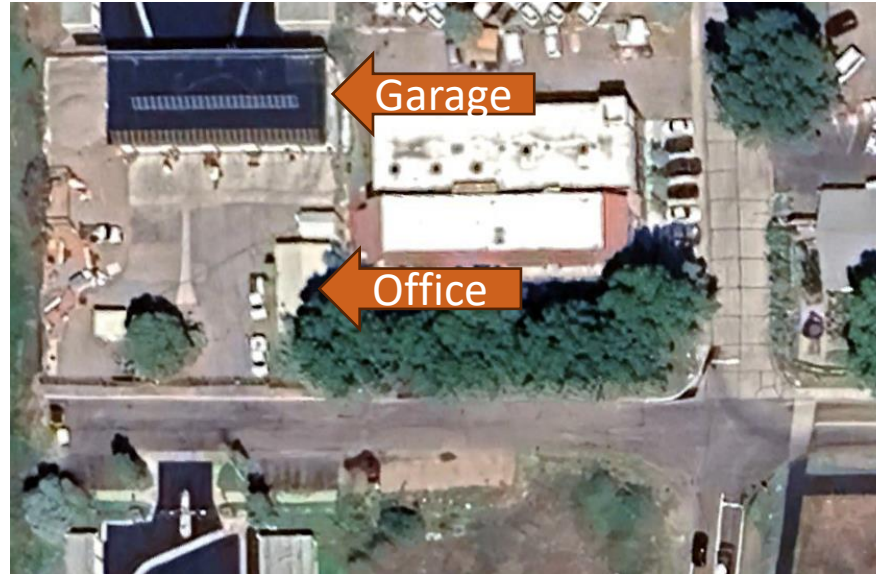
- Substandard offices for 3-4 employees
- Heated 5 bay garage
- Storage shed
- Backup generator
- Well #9
- Delivery location for PW supplies inc. water treatment

Future Opportunity: Scenario 1

- Similar in size to umbrella site
- Single user opportunity – Police Dept
- Centralize PW uses at PWX West
- Concentrate financial resources one dept at a time
- PUD Amendment Application process – no annexation

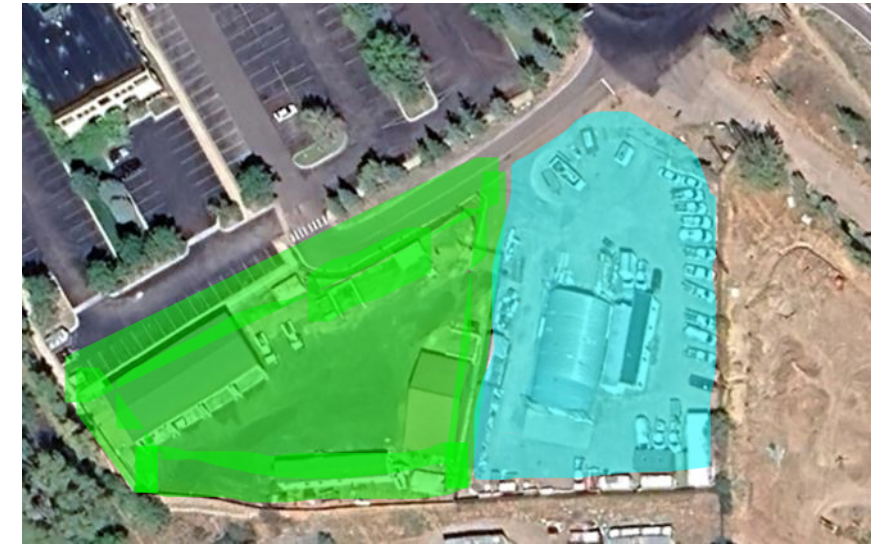
Future Opportunity: Scenario 2

- Maintain as PW facility; replace substandard offices



Existing

- offices for 3-4 employees 15+ plow blades
- Sunday Market trailer
- VMS boards
- Connex storage containers
- Brush pile
- Rock pile
- Equipment and irrigation supplies
- Sign Shop and sign materials storage
- Compost shed
- Park furnishing i.e. trash cans, benches, etc.
- 6-8 works trucks
- Various equipment for mowers, blowers, and toolcat



1.16 ac

.075 ac



Future Opportunity: Scenario 1

- Consolidate multiple properties for a singular PW site
- Monetize underutilized properties
- Phase consolidation overtime
- No annexation application required (zoned Industrial)

Future Opportunity: Scenario 2

- Combined PD/PW facility
- Maintain multiple PW facilities
- Annexation and PUD land use application process

Basalt Police Station

Existing

- 2,500 sf office condo
- 100 Elk Run Drive, Ste. 115
- critically undersized
- confined by the site and existing structure with no ability to expand

Critical Needs

- Evidence processing & storage
- Locker and restrooms facilities for 14 staff separate from public (*currently none*)
- Community/Conference/Interview Rooms (*currently none*)
- Positive interaction & lobby space (*currently none*)
- Secure perimeter (*currently none*)
- Exercise room, kitchen, break room (*currently none*)

Future Opportunity: Scenario 1

- Combined PD/PW facility
- Annexation and PUD land use application process 18 months
- Construction docs and construction 24-36 months

Future Opportunity: Scenario 2

- Redevelop Fiou property to a Police Department
- PUD land use application process 8-10 months (no annexation reqt)
- Construction docs and construction 24-36 months
- Finance PD project independent of PW project

Police design and operational goals:

- Public access and orientation are critical.
- Flexibility for mixed activities.
- Durable for 24 / 7 use and longevity and ease of maintenance
- Accommodate unique activities and functions.
- Create opportunities for encouraging interaction and collaboration.
- Enhanced safety and security such a secure perimeter for security of vehicles.
- Create a great place to work to assist in retention of staff.





Next Steps:

1. Review Wold conceptual site plan – opportunities for efficiency
2. Study opportunities and constraints of multiple PW properties
3. Update PD-PW facility site plan(s)
4. Estimate project costs
5. Update Council