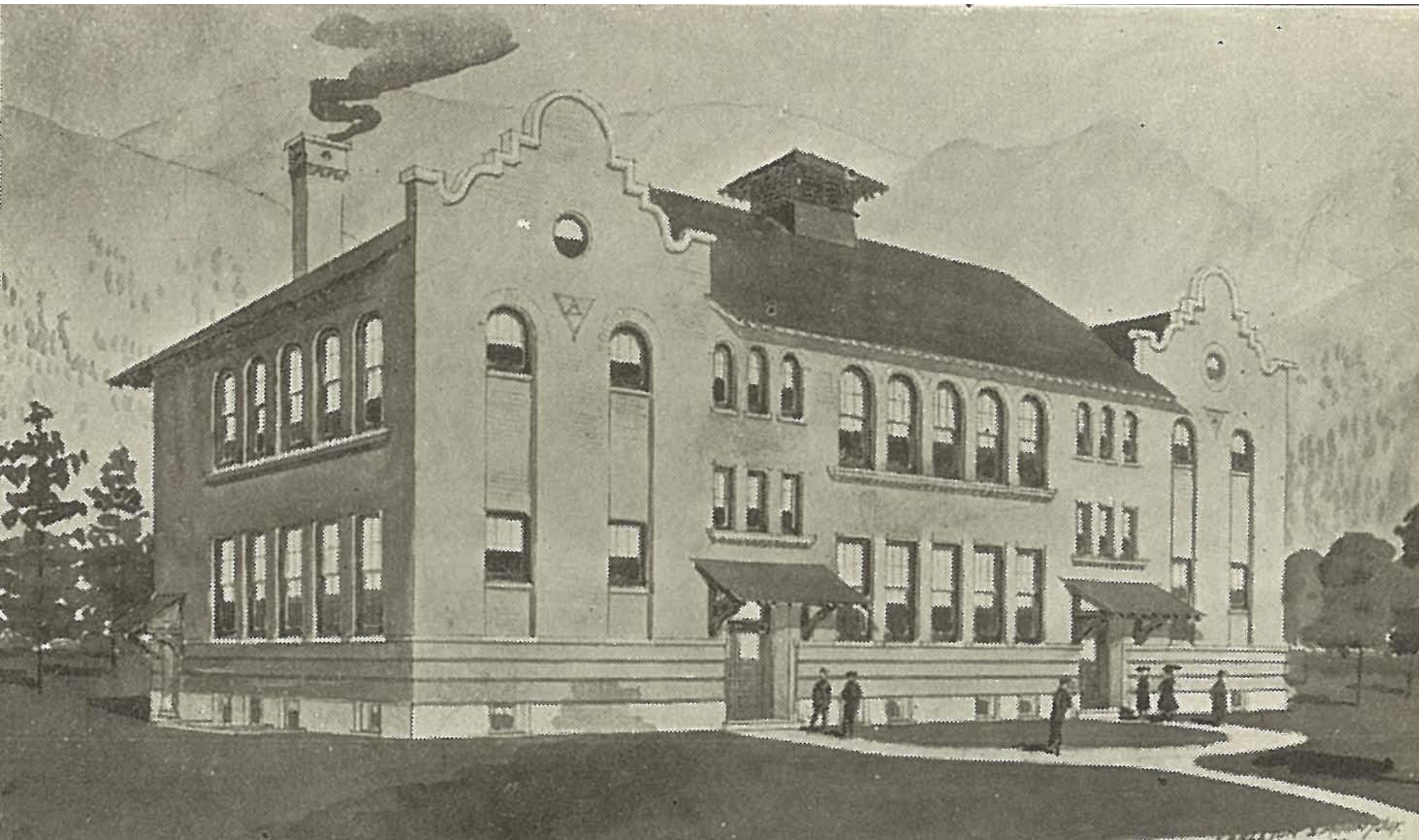


HARRIS STREET COMMUNITY BUILDING



This image is courtesy of Maureen Nicholls

DESIGN DOCUMENTS OCTOBER 24, 2025

Note: "J" and "E"
Room sheets
ONLY for 2026
"Refresh" scope.

ABBREVIATIONS

#	POUND(S) or NUMBER	EXT	EXTERIOR	OD	OUTSIDE DIAMETER
&	AND	FACP	FIRE ALARM CONTROL PANEL	OH	OPPOSITE HAND
<	ANGLE	FD	FLOOR DRAIN	OPNG	OPENING
@	AT	FE	FIRE EXTINGUISHER	OPP	OPPOSITE
AV	AUDIO VISUAL	FEC	FIRE EXTINGUISHER CABINET	OSB	ORIENTED STRAND BOARD
ABV	ABOVE	FIN	FINISH(ED)	PLAM	PLASTIC LAMINATE
ACM	ASBESTOS CONTAINING MATERIAL	FIXT	FIXTURE	PLAS	PLASTER
ACT	ACCOUSTICAL CEILING TILE	FLR	FLOOR(ING)	PLUMB	PLUMBING
ADA	AMERICANS WITH DISABILITIES ACT	FO	FACE OF	PT	PAINT
ADD	ADDENDUM	FP	FIRE PROTECTION	PTD	PAINTED
ADJ	ADJACENT or ADJUSTABLE	FRP	FIBERGLASS REINFORCED PANEL(ING)	PWD	PLYWOOD
AFF	ABOVE FINISHED FLOOR	FT	FEET	QT	QUARRY TILE
AHU	AIR HANDLING UNIT	FTG	FOOTING	RAD	RADIUS
AL	ALUMINUM	FURR	FURRING	RB	RUBBER BASE
ALT	ALTERNATE	GA	GAUGE OR GYPSUM ASSOCIATION	RCP	REFLECTED CEILING PLAN
APPROX	APPROXIMATE(LY)	GALV	GLAVANIZED	RD	ROOF DRAIN
ARCH	ARCHITECTURAL	GC	GENERAL CONTRACTOR	REF	REFER TO or REFERENCE
ASPH	ASPHALT	GD	GRADE	REINF	REINFORCED
B.O.	BOTTOM OF	GL	GLASS or GLAZING	RELOC	RELOCATE(D)
BLDG	BUILDING	GND	GROUND	REQ	REQUIRED
BLKG	BLOCKING	GWB	GYPSUM WALLBOARD	REV	REVISE, REVISED or REVISION
BR	BACKER ROD	HM	HOLLOW METAL	RM	ROOM
BTWN	BETWEEN	HAZMAT	HAZARDOUS MATERIAL	RO	ROUGH OPENING
CAB	CABINET	HDR	HEADER	RS	ROUGH SAWN
CJ	CONTROL JOINT	HDW	HARDWARE	(S)	SEALANT
CL	CENTERLINE	HORIZ	HORIZONTAL	S	SOUTH
CLG	CEILING	HT	HEIGHT	SCHED	SCHEDULE
CLR	CLEAR	HVAC	HEATING, VENTILATION and AIR CONDITIONING	SF	SQUARE FEET
CMU	CONCRETE MASONRY UNIT	IBC	INTERNATIONAL BUILDING CODE	SHTG	SHEATHING
COL	COLUMN	ID	INSIDE DIAMETER	SIM	SIMILAR
CONC	CONCRETE	INS	INSULATION or INSULATED	SOG	SLAB ON GRADE
CONST	CONSTRUCTION	INT	INTERIOR	SPEC	SPECIFICATION(S)
CONT	CONTINUOUS	INT	INTERIOR	SQ	SQUARE
CORR	CORRIDOR	JT	JOINT	SS	STAINLESS STEEL
CPT	CARPET	LAV	LAVATORY	STD	STANDARD
CT	CERAMIC TILE	LIN	LINOLEUM	STL	STEEL
CTBB	CEMENTITIOUS TILE BACKER BOARD	MATL	MATERIAL	STN	STAIN
CTR	CENTER	MAX	MAXIMUM	STRUC	STRUCTURE or STRUCTURAL
DBL	DOUBLE	MECH	MECHANICAL	(T)	TEMPERED
DEMO	DEMOLITION	MEP	MECHANICAL, ELECTRICAL and PLUMBING	T&G	TONGUE AND GROOVE
DET	DETAIL	MFG	MANUFACTURING	T.O.	TOP OF
DF	DRINKING FOUNTAIN	MFR	MANUFACTURER	TD	THRESHOLD
DIAM	DIAMETER	MIN	MINIMUM	TYP	TYPICAL
DIM	DIMENSION	MISC	MISCELLANEOUS	UON	UNLESS OTHERWISE NOTED
DN	DOWN	MO	MASONRY OPENING	VB	VAPOR BARRIER
DS	DOWNSPOUT	MTD	MOUNTED	VCT	VINYL COMPOSITION TILE
<E>	EXISTING	MTL	METAL	VERT	VERTICAL
E	EAST	<N>	NEW	VIF	VERIFY IN FIELD
EA	EACH	N	NORTH	VIN	VINYL
EG	FOR EXAMPLE	NA	NOT APPLICABLE	VTR	VENT THROUGH ROOF
ELEC	ELECTRICAL	NIC	NOT IN CONTRACT	W	WEST
ELEV	ELEVATION	NO.	NUMBER	W/	WITH
EMER	EMERGENCY	NOM	NOMINAL	W/O	WITHOUT
ENGR	ENGINEER	NTS	NOT TO SCALE	WD	WOOD
EQ	EQUAL	OC	ON CENTER	WIN	WINDOW
EQP	EQUIPMENT				
ETR	EXISTING TO REMAIN				

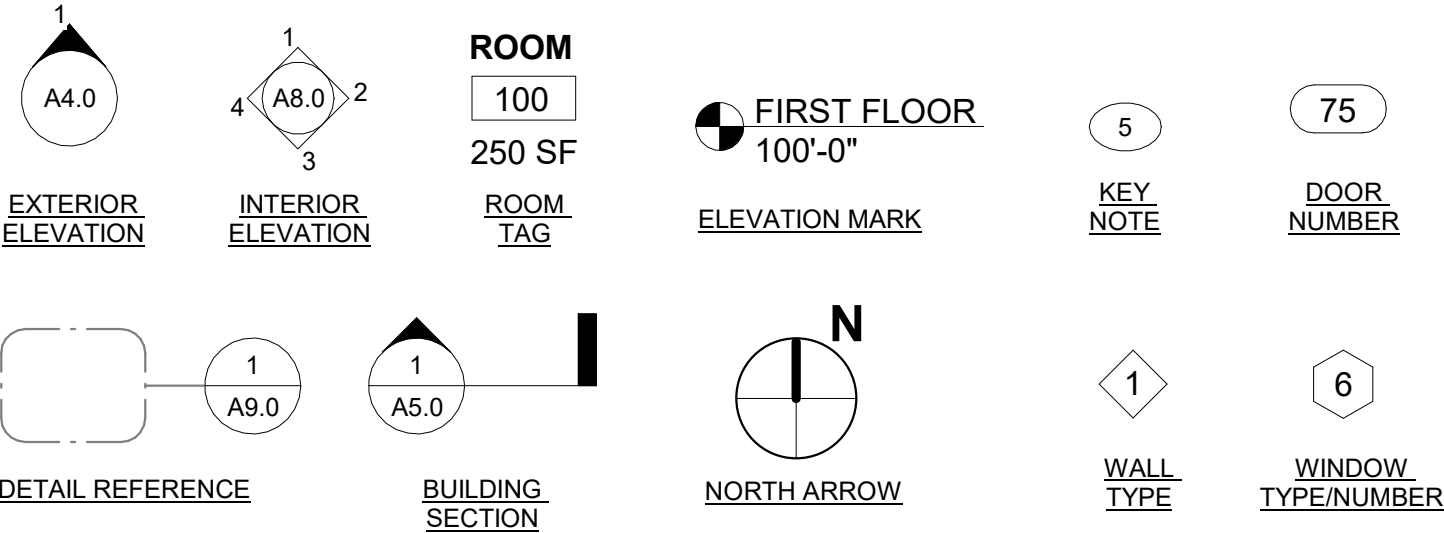
INDEX

GENERAL	COVER SHEET
G001	FINISH SHEET
G002	
ARCHITECTURAL	
A100	ENLARGED ALTERED UNDERSTORY
A101	ELEVATIONS UNDERSTORY ALTERATION
A102	ENLARGED UNDERSTORY RECONFIGURE
A103	ELEVATIONS UNDERSTORY RECONFIGURE
A104	UNDERSTORY DETAILS
A105	ENLARGED "J" ROOM
A106	ELEVATION "J" ROOM
A107	DETAILS "J" ROOM
A108	ENLARGED "E" ROOM
A109	ELEVATIONS "E" ROOM

*UNDERSTORY SPACE IS SHOWN WITH TWO OPTIONS, A SMALLER ALTERATION AND A RECONFIGURATION. THE DESIGN INTENT IS THAT ONE OF THE OPTIONS IS SELECTED. OWNER TO DECIDE. RE: A100-101 & A102-103 FOR OPTIONS.

*"J" ROOM = PLAY AND CRAFT ROOM
*"E" ROOM = READING AND STACK ROOM

SYMBOLS

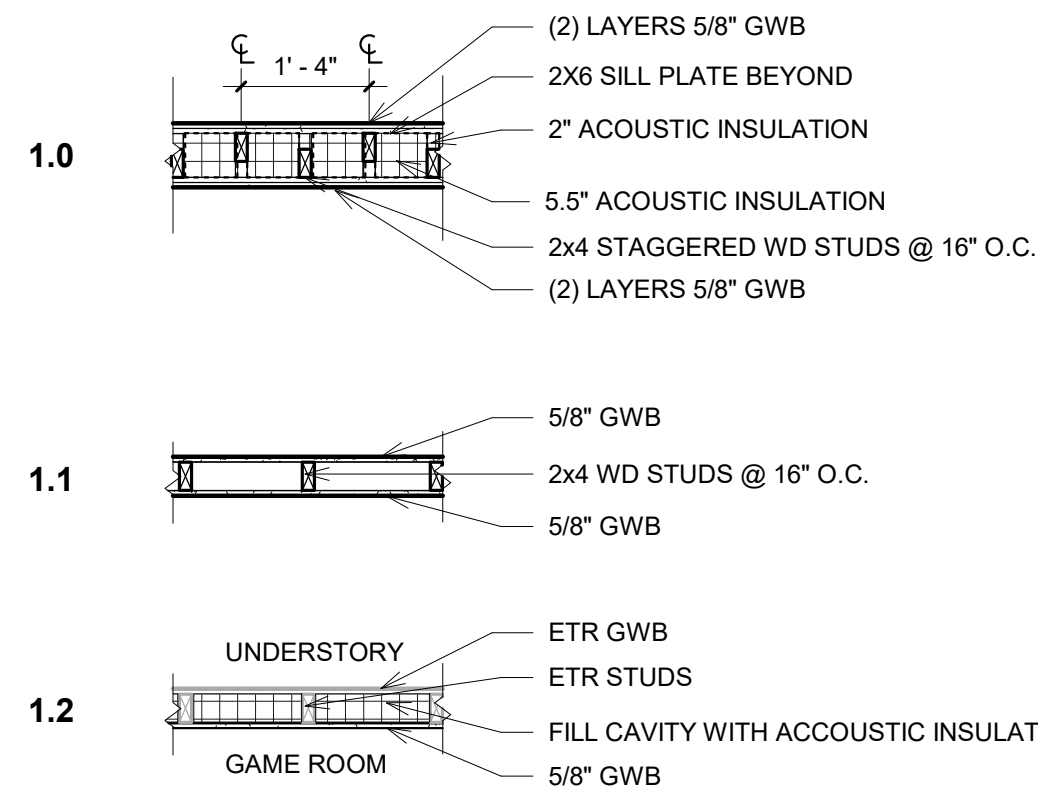


GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH THE DESIGN DOCUMENTS, VERIFYING FIELD CONDITIONS AND DIMENSIONS, AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL NOTIFY OWNER IN WRITING OF ANY DISCREPANCY WITHIN THE DESIGN DOCUMENTS AND REQUEST CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION.
2. SHOULD THERE BE ANY QUESTIONS CONCERNING THE DESIGN DOCUMENTS, EXISTING CONDITIONS, AND/OR DESIGN INTENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE OWNER PRIOR TO PROCEEDING WITH THE WORK, OR RELATED WORK IN QUESTION.
3. THE DESIGN DOCUMENTS IN THEIR ENTIRETY ARE THE RESPONSIBILITY OF ALL TRADES. WHERE REQUIREMENTS ARE SHOWN IN ONE SECTION OF THE SPECIFICATIONS OR DRAWINGS BUT NOT ANOTHER, THE CONTRACTOR IS NOT RELIEVED FROM PROVIDING COMPLETELY FINISHED AND PROPERLY FUNCTIONING SYSTEMS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH THE PROJECT SCOPE OF WORK, SCHEDULE, AND DEADLINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADVISING THE OWNER OF ALL ITEMS REQUIRING A LONG LEAD TIME UPON NOTICE TO PROCEED THAT WILL AFFECT THE SCHEDULE. ORDER CONFIRMATIONS AND DELIVERY DATES FOR THE ITEMS IN QUESTION SHALL BE INCLUDED IN THE CONSTRUCTION SCHEDULE AND SUBMITTED TO THE OWNER.
5. ALL WORK TO BE PERFORMED TO APPLICABLE BUILDING CODES.
6. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
7. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LAYOUT AND COORDINATION OF DIMENSIONS IN THE FIELD THAT ESTABLISH WORK POINTS FOR THEIR WORK AND VARIOUS TRADES.
8. "ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISHED FACES IN THE SAME PLANE.
9. DIMENSIONS ARE TO FACE OF <N> STUD WHERE INTERFACING WITH <N> FRAMING AND TO FACE OF FINISH WHERE INTERFACING WITH <E> WALLS, UON.
10. TYPICAL (TYP) OR SIMILAR (SIM) NOTATION USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITIONS ARE THE SAME OR REPRESENTATIVE FOR ALL SIMILAR CONDITIONS, UNLESS NOTED OTHERWISE. ACTUAL CONDITIONS MAY VARY, BUT DO NOT REVOKE THE INTENT OF THE CONFIGURATION INDICATED. DETAILS ARE USUALLY KEYED AND NOTED "TYPICAL" OR "SIMILAR" ONLY ONCE WITH THE FIRST OCCURRENCE AND ARE REPRESENTATIVE FOR ALL SIMILAR CONDITIONS THROUGHOUT, UNLESS NOTED OTHERWISE.
11. INSTALL ALL MANUFACTURED ITEMS, MATERIALS, AND EQUIPMENT IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED SPECIFICATIONS, EXCEPT WHERE THE DESIGN DOCUMENTS ARE MORE STRINGENT.
12. ANY MISCELLANEOUS ITEMS OR MATERIALS NOT SPECIFICALLY NOTED BUT REQUIRED FOR PROPER INSTALLATION SHALL BE FURNISHED AND INSTALLED BY THE GENERAL CONTRACTOR.
13. THE CONTRACTOR SHALL FURNISH TO THE OWNER ALL WARRANTIES AND GUARANTEES REQUIRED AT THE CONCLUSION OF THE PROJECT.
14. IF DISCREPANCIES OCCUR BETWEEN DRAWINGS OR BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, NOTIFY THE OWNER FOR RESOLUTION.
15. THE CONSTRUCTION SITE IS TO BE KEPT CLEAN AND FREE OF DEBRIS. THE CONTRACTOR IS RESPONSIBLE FOR ALL PHASES OF SECURING, HANDLING, TRANSPORTING AND DISPOSING OF DEBRIS.
16. THE CONTRACTORS SHALL NOT SHUT OFF OR INTERRUPT ANY SYSTEMS OR SERVICES WITHOUT FIRST COORDINATING WITH THE OWNER.
17. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO IDENTIFY AND PROTECT EXISTING STRUCTURE, SYSTEMS, UTILITIES, SURFACES AND FINISHES WHICH ARE TO REMAIN. ALL SYSTEMS DAMAGED DURING CONSTRUCTION ARE TO BE REPAIRED BY THE CONTRACTOR AT THEIR EXPENSE.
18. DELIVERY AND STORAGE OF CONSTRUCTION MATERIALS AND EQUIPMENT (STAGING AREAS) IS TO BE COORDINATED WITH THE OWNER.

WALL TYPES

TYPE #	GRAPHIC REPRESENTATION	*NEW FULL HEIGHT WALLS TO HAVE SLIP TRACK AT SILL PLATES
--------	------------------------	--



ANDERSON
HALLAS
ARCHITECTS

SUMMIT SOUTH BRANCH
LIBRARY REFRESH
103 SOUTH HARRIS STREET
BRECKENRIDGE, COLORADO 80424

NO.	Description	Date
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GOLDEN, COLORADO 80401
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Project Number 2025290
Issue DESIGN DOCUMENTS
Date 10/24/2025
Drawn By RAK
Checked By AN/EMH

COVER SHEET

G001

10/24/2025 12:30:00 PM Autodesk Docs/2025-290 Summit County South Branch Library Refresh/2025-290 South Branch Library-v2-BIM360.rvt

1. PROTECT EXISTING FINISHES TO REMAIN 2. REPAIR / REPLACE ALL FINISHES AFFECTED BY DEMOLITION AND CONSTRUCTION WORK IN-KIND TO MATCH ADJACENT, UON. REPAIR REQUIRED TO ADDRESS CONSTRUCTION DAMAGE SHALL BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER. 3. ADA COMPLIANT TRANSITIONS BETWEEN ALL FLOORING CHANGES. ALL FLOOR TRANSITIONS TO ALIGN WITH CENTER OF DOOR IN CLOSED POSITION. 4. ALL EXPOSED GYPSUM BOARD TO BE PAINTED IN UNDERSTORY, AND E & J ROOMS, PAINT TO MATCH EXISTING PAINT COLORS AND LOCATIONS, FULL WALL - NO PATCH PAINTING. 5. PROVIDE CONCEALED CORNER GUARDS AT ALL OUTSIDE CORNERS OF <N> GWB WALLS. 6. ALL EXPOSED GRILLES, VENT COVERS, ACCESS PANELS, ETC. TO BE FIELD PAINTED TO BE SAME COLOR AS SURROUNDING WALL.														CPT CARPET TILES ETR EXISTING TO REMAIN, PROTECT IN PLACE PT PAINT RF RUBBER FLOORING WD WOOD				CPT-1 SHAW LANDSCAPE, SAND PT PAINT: COLOR MATCH EXISTING, PAINT EDGE TO EDGE - NO PAINT PATCHING RF INTERFACE NORAPLAN CONVIA, COLOR MIX: CARMINE RED, LUMINOUS RED, ADOBE, HONEY REF: 4/A105 FOR PATTERN WD WOOD SPECIES & STAIN TO MATCH EXISTING MILLWORK																											
FINISH SCHEDULE																																													
ROOM NUMBER	NAME	AREA	FLOOR FINISH	CEILING FINISH	NORTH WALL		EAST WALL		SOUTH WALL		WEST WALL		COMMENTS	ROOM NUMBER																															
					WALL FINISH	BASE	WALL FINISH	BASE	WALL FINISH	BASE	WALL FINISH	BASE																																	
1000	UNDERSTORY	291 SF	CPT - 1	ETR-PT	ETR - PT	ETR	ETR - PT	ETR - WD	ETR	ETR - WD	ETR - PT	ETR - WD	EXISTING WALLPAPER TO REMAIN, PROTECT IN PLACE	1000																															
1001	EXISTING GAME ROOM	101 SF	CPT - 1	ETR-PT	GWB - PT	WD	ETR - PT	ETR	ETR - PT	ETR	GWB-PT	WD	REINSTALL SALVAGED, CATELOGED WD BASE, REPAIR AND REFINISH	1001																															
1002	SUPPORT AREA	86 SF	CPT - 1	ETR	ETR - PT	ETR	ETR - PT	ETR - WD	ETR	ETR - WD	ETR - PT	ETR - WD		1002																															
1003	CRAFT AREA	277 SF	CPT - 1	ETR	ETR - PT	ETR	ETR - WD	ETR - PT	ETR - WD	ETR - PT	ETR			1003																															
1004	NEW GAME ROOM	93 SF	CPT - 1	ETR-PT	GWB-PT	WD	GWB-PT	WD	GWB-PT	WD	GWB-PT	WD		1004																															
1005	J ROOM	626 SF	CPT - 1/RF	ETR-PT	ETR - PT	ETR	ETR - PT	ETR - WD	ETR - PT	ETR	ETR-PT	ETR		1005																															
1006	E ROOM	710 SF	CPT - 1	ETR-PT	ETR - PT	ETR	ETR - PT	ETR	ETR - PT	ETR	ETR - PT	ETR		1006																															
RUBBER FLOORING SPECIFICATIONS																																													
PART 1 - GENERAL																																													
1.3 SUBMITTALS A. Product Data: Submit manufacturer's product data, installation instructions and maintenance guidelines for each material and accessory proposed for use. B. Samples: Submit three representative samples of each product specified for verification.																																													
1.4 QUALITY ASSURANCE A. Manufacturer Qualifications: Provide resilient flooring manufactured by a firm with a minimum of 10 years' experience with resilient flooring of type equivalent to those specified. 1. Manufacturer's quality management system must have ISO 9001:2000 approval. 2. Provide resilient flooring products and accessories from one manufacturer to ensure compatibility. 3. Manufacturer shall be capable of providing technical training and technical field service representation. B. Installer Qualifications: Acceptable to manufacturer of resilient flooring or INSTALL (International Standards & Training Alliance) resilient certified for the requirements of the project with a minimum of 4 years' experience with resilient flooring of type equivalent to those specified. 1. It is recommended to have a minimum of one installer per working party with the ability to provide proof of current credentials on request. 2. Has obtained and maintained current credentials from manufacturer's training program. 3. Installers shall be able to exhibit proficient skills with flash cove detailing, both hot and cold-welding techniques, adhesives, specialty adhesive systems and seam cutting. 4. The installing parties shall provide a submittal of their skills in the form of mock-ups of the specified material. These mock-ups will be accepted as proof of their skills and benchmarking for the proposed project. C. Sustainable Design Requirements: 1. ISO 14001 Environmental Management Systems certification. 2. Construction waste take back program for the purpose of reducing jobsite waste by taking back uninstalled waste flooring. Details of the nora® program are available at www.nora.com. 3. Flooring surfaces that are easily cleaned and do not require coatings, stripping, or use of chemicals that may be hazardous to human health. 4. Supply all required products that are CA 01350 compliant. 5. Flooring that contains no polyvinyl chloride or phthalate plasticizers. 6. Flooring that contains no halogenated polymers. 7. Flooring that contains no asbestos.																																													
1.5 DELIVERY, STORAGE, AND HANDLING A. Deliver materials in labeled packages. Store and handle in strict compliance with manufacturer's recommendations. Protect from damage due to weather, excessive temperatures, and construction operations. B. Deliver materials sufficiently in advance of installation to condition materials to the required temperature for 48-hours prior to installation.																																													
1.6 PROJECT CONDITIONS A. The installation area must be fully enclosed, weather tight, and climate controlled between 63°F and 75°F and 40% to 60% ambient relative humidity (RH) for at least 48 hours prior, during and 72 hours after installation (do not use gas fueled blowers). Dew point must be avoided. The substrate must be at least 5°F above dew point to be considered acceptable.																																													
1.7 WARRANTY A. Provide manufacturer's standard limited warranty for wear, defect, bond, and conductivity.																																													
PART 2 - PRODUCTS																																													
2.1 ACCEPTABLE MANUFACTURER A. Basis-of-Design: nora systems, Inc., 9 Northeastern Blvd., Salem, NH 03079; telephone 800-332-NORA or 603-894-1021.																																													
2.2 RESILIENT TILE FLOORING FOR COMMERCIAL TRAFFIC A. Rubber Floor Tile: Rubber tile meets the following product construction specifications: 1. Product Name: noraflan convia™, Article 270F 2. ASTM Specification: Type I and Grade 1 ASTM F1344 Standard Specification for Rubber Floor Tile 3. Material Composition: nora vulcanized rubber compound 913 with environmentally compatible color pigments that are free of toxic heavy metals like lead, cadmium, or mercury 4. Construction: Homogeneous rubber compound with a random scattered design 5. Limited Wear Warranty: 15 years 6. Color: 28 standard colors 7. Surface: Smooth 8. Back of Tile: Double-sanded smooth 9. Material Size (ASTM F2055): ± 0.45 mm (± 0.018 in) is required 610 mm by 610 mm (~24.015 in by 24.015 in) 10. Squareness (ASTM F2055): ± 0.45 mm (± 0.018 in) is required Meets requirements 11. Thickness (ASTM F386): ± 0.127 mm (± 0.005 in) is required 2 mm (~0.08 in) 12. Substrate Preparation: Per ASTM F710 and the nora Installation Instructions Proceed with installation only after unsatisfactory conditions have been corrected. 13. Installation Method: Directional installation 14. Cleaning: Cleaned and maintained effectively using water, nora® pads and a suitable cleaning machine, without the use of any factory and/or field-applied coatings. Also, without using any chemicals that may be hazardous or containing any teratogenic, mutagenic or any other ingredients known to be carcinogenic. Refer to nora Maintenance Guidelines for product specific details. 15. Shine: Higher shine achieved by buffing without any artificial topical applied coatings.																																													
PAINT SPECIFICATIONS																																													
PART 1 - GENERAL																																													
1.1 ACTION SUBMITTALS A. Product Data: For each type of product. Include preparation requirements and application instructions. 1. Include preparation requirements and application instructions. 2. Indicate VOC content. B. Samples: For each type of topcoat product.																																													
1.1 DELIVERY, STORAGE, AND HANDLING A. Store materials not in use in tightly covered containers in well-ventilated areas with ambient temperatures continuously maintained at not less than 45 deg F. 1. Maintain containers in clean condition, free of foreign materials and residue. 2. Remove rags and waste from storage areas daily.																																													
1.2 FIELD CONDITIONS A. Apply paints only when temperature of surfaces to be painted and ambient air temperatures are between 50 and 95 deg F. B. Do not apply paints when relative humidity exceeds 85 percent; at temperatures of less than 5 deg F above the dew point; or to damp or wet surfaces.																																													
PART 2 - PRODUCTS																																													
2.1 MANUFACTURERS A. "Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following: 1. Behr Paint Company; Behr Process Corporation. 2. Benjamin Moore & Co. 3. PPG Paints; PPG Industries, Inc. 4. Sherwin-Williams Company (The). B. Source Limitations: Obtain paint product system from single source from single manufacturer.																																													
2.2 PAINT PRODUCTS, GENERAL A. "Material Emissions and Pollutant Control: Verify not less than 85 percent of field-applied paints and coatings that are inside the weatherproofing system comply with one of the following: 1. "Low-Emitting Materials: Verify VOC emissions with the requirements of the California Department of Public Health's "Standard Method for the Testing and Evaluation of Organic Chemical Emissions from Indoor Sources Using Environmental Chambers." Verify formaldehyde emissions do not exceed 9 mcg/cu. m or 7 ppb, whichever is less.																																													
2.3 PRIMERS A. Interior, Institutional Low-Odor/VOC Primer Sealer: Water-based primer sealer with low-odor characteristics and a VOC of less than 10 grams per liter for use on new interior plaster, concrete, and gypsum wallboard surfaces that are subsequently to be painted with latex finish coats. 1. "Manufacturers: Subject to compliance with requirements, provide products by one of the following: a. Behr Paint Company; Behr Process Corporation. b. Benjamin Moore & Co. c. McCormick Paints. d. PPG Paints; PPG Industries, Inc. e. Sherwin-Williams Company (The).																																													
2.4 WATER-BASED FINISH COATS A. Interior, Latex, High-Performance Architectural Coating, Eggshell: High-performance architectural latex coating providing a significantly higher level of performance than conventional latex paints in the areas of scrub resistance, burnish resistance, and ease of stain removal. 1. "Manufacturers: Subject to compliance with requirements, provide products by one of the following: a. Behr Paint Company; Behr Process Corporation. b. Benjamin Moore & Co. c. Kelly-Moore Paints. d. PPG Paints; PPG Industries, Inc. e. Sherwin-Williams Company (The). 2. Gloss and Sheen Level: Manufacturer's standard eggshell finish Gloss of 10 to 25 units at 60 degrees and sheen of 10 to 35 units at 85 degrees when tested in accordance with ASTM D523 .																																													
PART 3 - EXECUTION																																													
3.1 EXAMINATION A. Examine substrates and conditions, with Applicator present, for compliance with requirements for maximum moisture content and other conditions affecting performance of the Work. B. Maximum Moisture Content of Substrates: When measured with an electronic moisture meter as follows: 1. Wood: 15 percent. 2. Gypsum Board: 12 percent. C. Gypsum Board Substrates: Verify that finishing compound is sanded smooth. D. Verify suitability of substrates, including surface conditions and compatibility, with existing finishes and primers. E. Proceed with coating application only after unsatisfactory conditions have been corrected. 1. Application of coating indicates acceptance of surfaces and conditions.																																													
3.2 PREPARATION A. Comply with manufacturer's written instructions and recommendations applicable to substrates and paint systems indicated. B. Remove hardware, covers, plates, and similar items already in place that are removable and are not to be painted. If removal is impractical or impossible because of size or weight of item, provide surface-applied protection before surface preparation and painting. 1. After completing painting operations, use workers skilled in the trades involved to reinstall items that were removed. 2. Remove surface-applied protection if any. C. Clean substrates of substances that could impair bond of paints, including dust, dirt, oil, grease, and incompatible paints and encapsulates. 1. Remove incompatible primers and reprime substrate with compatible primers or apply tie coat as required to produce paint systems indicated. D. Wood Substrates: 1. Scrape and clean knots, and apply coat of knot sealer before applying primer. 2. Sand surfaces that will be exposed to view, and dust off. 3. Prime edges, ends, faces, undersides, and backsides of wood. 4. After priming, fill holes and imperfections in the finish surfaces with putty or plastic wood filler. Sand smooth when dried.																																													
3.3 INSTALLATION A. Apply paints according to manufacturer's written instructions.																																													
CARPET SPECIFICATIONS																																													
PART 1 - GENERAL																																													
1.1 ACTION SUBMITTALS A. Product Data: For each type of product. 1. Include manufacturer's written data on physical characteristics, durability, and fade resistance. 2. Include manufacturer's written installation recommendations for each type of substrate. B. Shop Drawings: For carpet tile installation, showing the following: 1. Columns, doorways, enclosing walls or partitions, built-in cabinets, and locations where cutouts are required in carpet tiles. 2. Carpet tile type, color, and dye lot. 3. Type of subfloor. 4. Type of installation. 5. Pattern of installation. 6. Pattern type, location, and direction. 7. Pile direction. 8. Type, color, and location of insets and borders. 9. Type, color, and location of edge, transition, and other accessory strips. 10. Transition details to other flooring materials. C. Samples for Verification: Actual sample of finished products for each of the following products and for each color and texture required. Label each Sample with manufacturer's name, material description, color, pattern, and designation indicated on Drawings and in schedules. 1. Carpet Tile: Full-size Sample. 2. Exposed Edge, Transition, and Other Accessory Stripping: 12-inch- long Samples. D. Accessories 1. Metal Edge Strips: Andle or L-shaped, height to match adjacent materials and to conform to ADA requirements for changes in surface height, designed specifically for flooring applications; stainless steel, ASTM A276/A276M or ASTM A666, 300 Series exposed-edge material. 2. Manufacturers: Schluter Systems L.P.																																													
1.2 FIELD CONDITIONS A. SITE CONDITIONS 1. HVAC System: Must be operational, maintaining the following conditions 24 hours prior to, during and after installation. 2. Temperature: The installation site, carpet and adhesive must be between 50 o F and 95 o F. Adhesives will not function properly when exposed to temperatures outside this range. Do not begin the installation if the subfloor temperature is below 50 o F. 3. Humidity: The installation site's ambient relative humidity must not fall below 40%. 4. Moisture Testing: Conduct subfloor moisture testing in accordance to the ASTM F-2170 (in-situ Relative Humidity) and/or ASTM F-1869 (Anhydrous Calcium Chloride). 5. pH / Alkalinity: Conduct ASTM F-3441 pH/Alkalinity testing. B. SUBFLOOR TESTING 1. If excessive moisture is present, the general contractor or building owner must be advised of the readings, and a decision made regarding how to address the moisture or continue the installation. 2. The following chart breaks down the carpet backing system, grade of installation, the required subfloor testing requirements and the recommended adhesive for each:																																													
<table><tr><td>Carpet Tile Backing</td><td>Installation Area</td><td>Testing Requirements</td><td>Adhesive Recommendations</td></tr><tr><td>EcoWorx/EcoWorx BIO / StrataWorx</td><td>Below/On grade</td><td>Moisture and pH</td><td>LoKWorx Tabs,3000,5000, 415I,4252</td></tr><tr><td>EcoWorx/ EcoWorx BIO / StrataWorx</td><td>Above Grade</td><td>No Testing Required</td><td>LoKDotx, 3000, 5000, 415I, 4252</td></tr><tr><td>EcoLogix</td><td>Below/On Grade *</td><td>No Testing Required</td><td>415I*, 4252, ES (mill applied)</td></tr><tr><td>EcoLogix</td><td>Above Grade</td><td>No Testing Required</td><td>3000, 5000, 415I, 4252, ES (mill applied)</td></tr><tr><td>EcoWorx ES</td><td>Below/On Grade/Above</td><td>Moisture and pH</td><td>ES (mill applied)</td></tr><tr><td>EcoWorx M</td><td>Below/On Grade/Above</td><td>No Testing Required</td><td>5000, 415I, 4252</td></tr></table>																		Carpet Tile Backing	Installation Area	Testing Requirements	Adhesive Recommendations	EcoWorx/EcoWorx BIO / StrataWorx	Below/On grade	Moisture and pH	LoKWorx Tabs,3000,5000, 415I,4252	EcoWorx/ EcoWorx BIO / StrataWorx	Above Grade	No Testing Required	LoKDotx, 3000, 5000, 415I, 4252	EcoLogix	Below/On Grade *	No Testing Required	415I*, 4252, ES (mill applied)	EcoLogix	Above Grade	No Testing Required	3000, 5000, 415I, 4252, ES (mill applied)	EcoWorx ES	Below/On Grade/Above	Moisture and pH	ES (mill applied)	EcoWorx M	Below/On Grade/Above	No Testing Required	5000, 415I, 4252
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* LoKDotx and 415I are moisture resistant products; however, they do not eliminate moisture.																																													
PART 3- EXECUTION																																													
3.1 SURFACE PREPARATION 1. Substrate must be structurally sound, clean, level and dry. 2. Substrate must be free of dust, dirt, oil, grease, paint, curing agents, concrete sealers, adhesives*, loosely bonded toppings, loose particles and any other substance or condition that may prevent or reduce adhesion. 3. Fill depressions or cracks with a cementitious patching / leveling compound that meet or exceed Shaw Industries maximum moisture level and pH requirements. Use of gypsum-based patching and/or leveling compounds which contain Portland or high alumina cement and meet or exceed the compressive strength of 3,000 psi are acceptable. 4. For cracks or saw cuts deeper than 1", follow the preparation and application instructions for Shaw QuikFill. QuikFill is a 2-part urethane treatment that prevents future damage from moisture penetrating to the surface of the slab that may damage or breakdown adhesives or unapproved patching compounds. 5. For chemically abated substrates, ensure the proper cleaning methods have been taken to remove any residual abatement chemicals. 6. Green sweeping compounds can be used but must be swept and removed immediately. 7. For dusting / powdering / porous concrete / lightweight concrete prime with a latex primer such as 9050. 8. For patches / levels with a latex primer such as 9050. 9. If installed over existing resilient flooring (one layer only), all tiles must be secure to the subfloor. Strip any wax from the surface. 10. Wood Subfloors must be Wood Association Approved and primed with a latex primer such as 9050. 11. Raised Access Flooring panels must be smooth, level, secure and free of any Material that will affect the adhesive bond. Carpet tiles must be installed Offset from access panel seams. Gaps between panels must not exceed 1/16" or (1.6mm). *Refer to Prepare Existing Adhesive section for EcoLogix/EcoWorx M. 3.2. PREPARE EXISTING ADHESIVE 1. Remove existing adhesives to prevent adhesive incompatibility / reactions and bonding issues. When installing EcoLogix / EcoWorx M backed tiles, removal of existing adhesive is not necessary as long as the existing adhesive is dry and tacky. The top ridges of existing adhesive should be flattened so the existing adhesive does not interfere with adhesion of new adhesive and EcoLogix / EcoWorx M backing. Existing ridges should be no higher than 1/32". 2. Cutback Adhesive: Wet scrape the adhesive, reduce to a well bonded residue and encapsulate with a product such as BC9000. 3. Do not use adhesive removers, they will adversely affect the new adhesive and product installed. 3.3. LAYOUT SITE 1. Start the carpet tile installation at noted start point and position it to use the largest perimeter cut tile. 2. Snap a chalk line parallel to one major wall bisecting the starting point. It may be necessary to offset the center chalk line to assure that the perimeter tile will be a least half the size. 3. Snap a second chalk line from the starting point at a 90o to the first line. Use a 3-4-5 or 6-8-10 triangle or larger on the room size to verify squareness. Meters or feet may be used to lay out the triangle in these proportions. 3.4. INSTALLATION 1. See manufacturer's installation requirements.																																													

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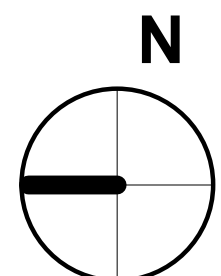
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Drawn By RAK
Checked By AN/EMH

FINISH SHEET

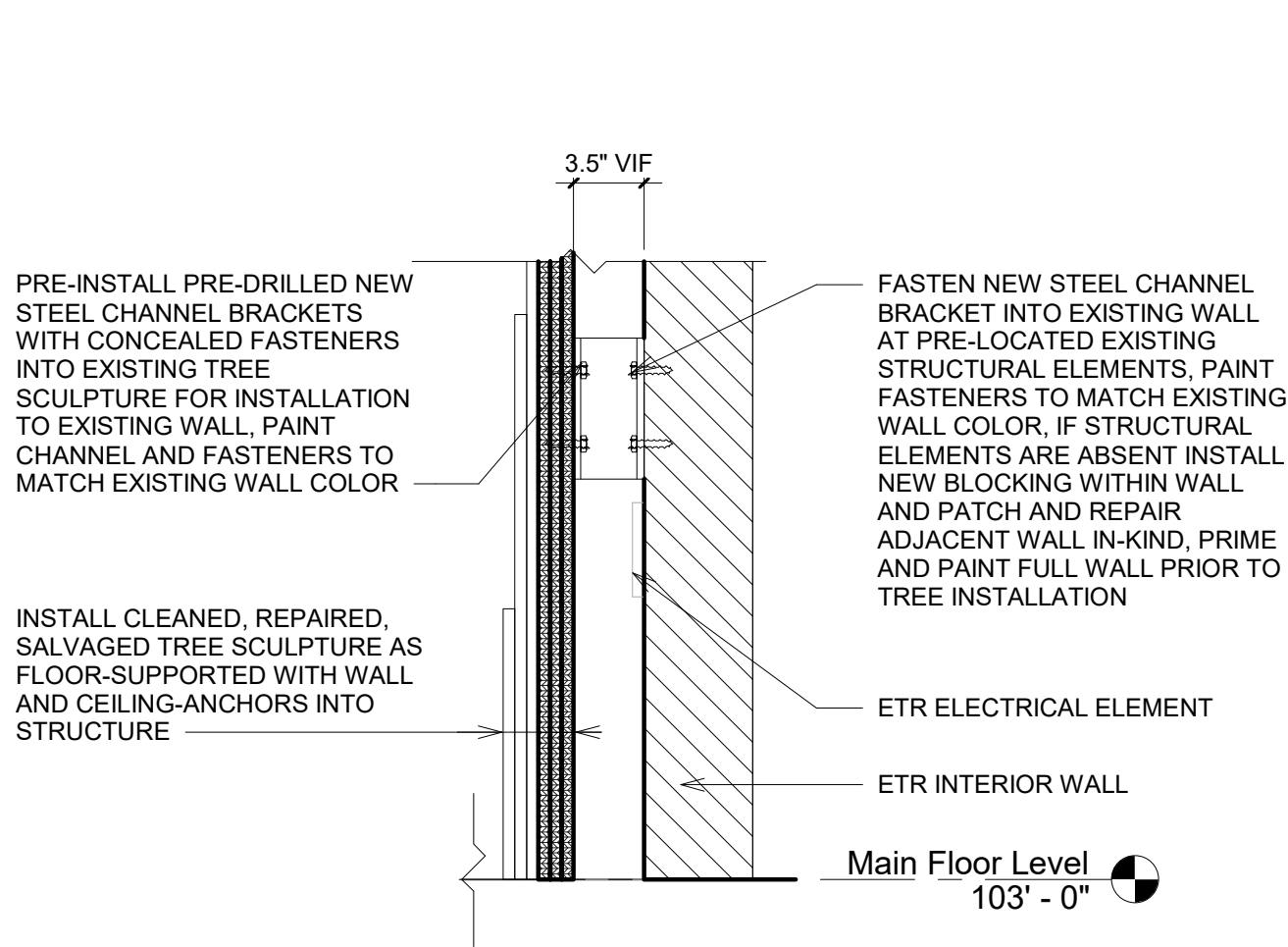
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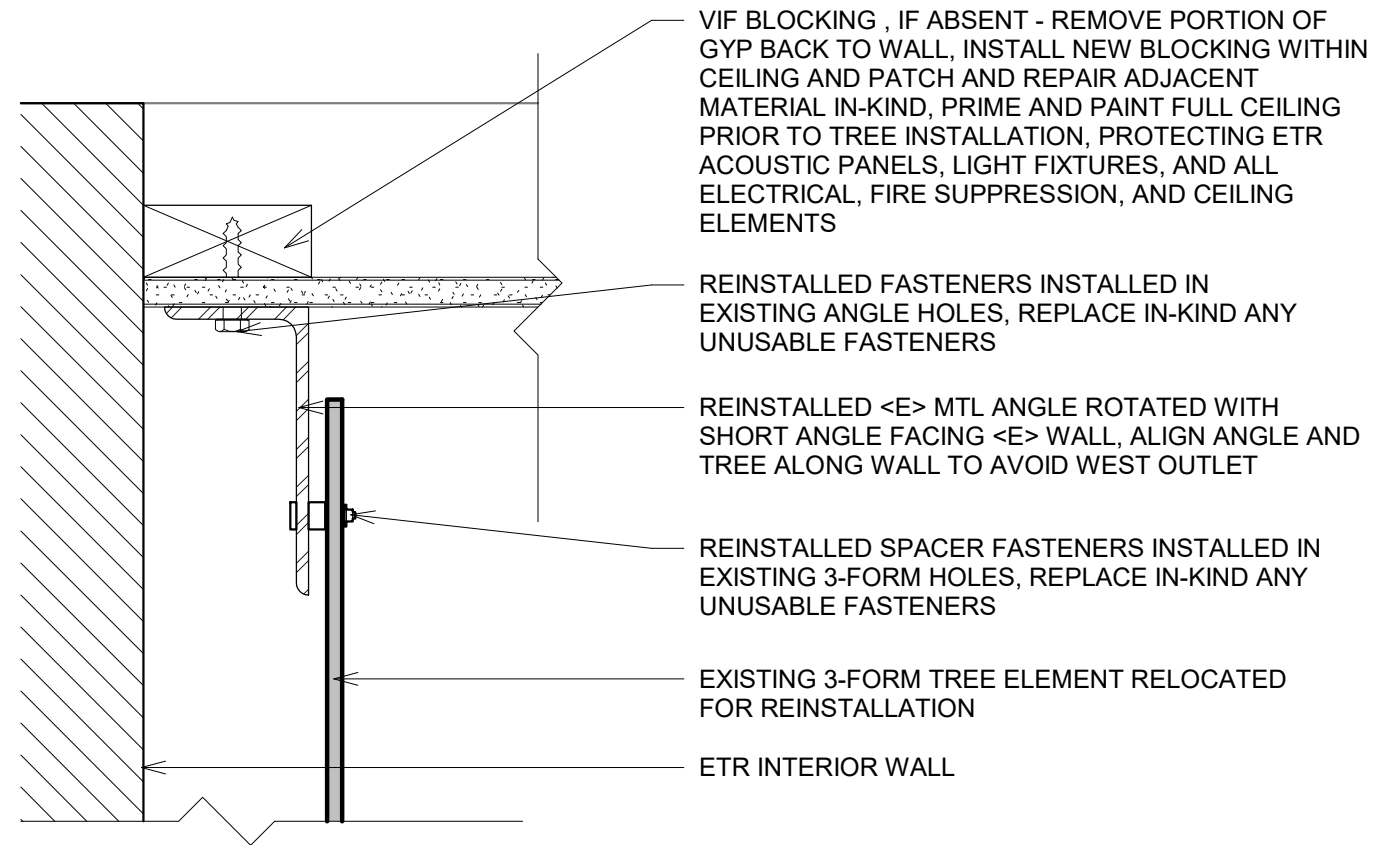
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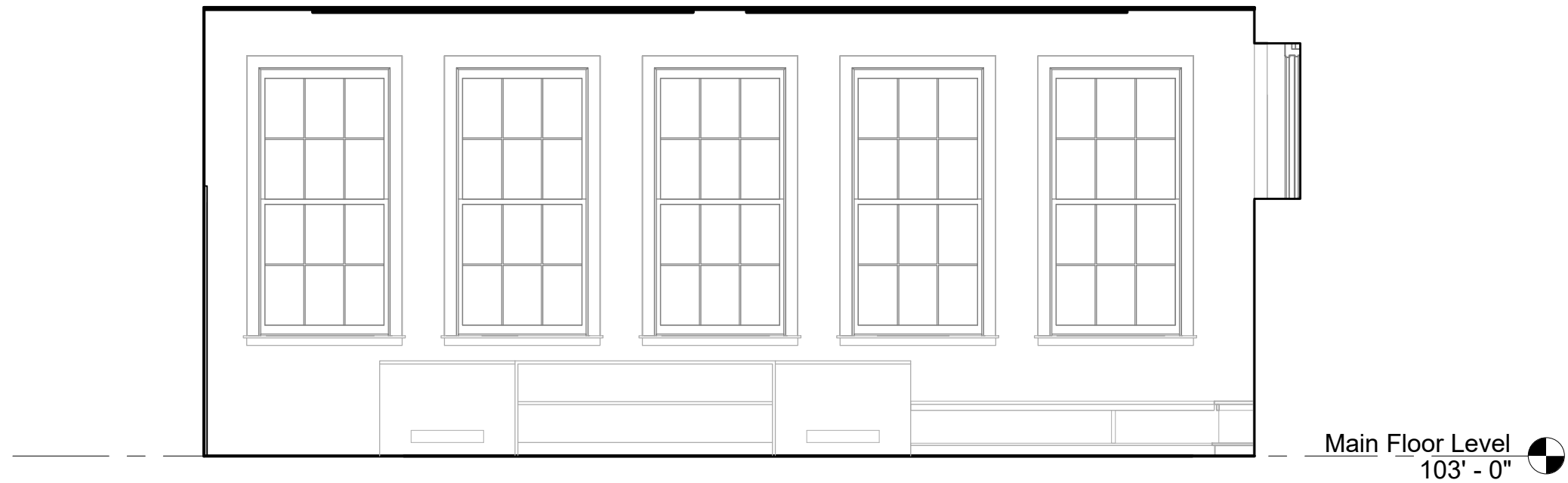
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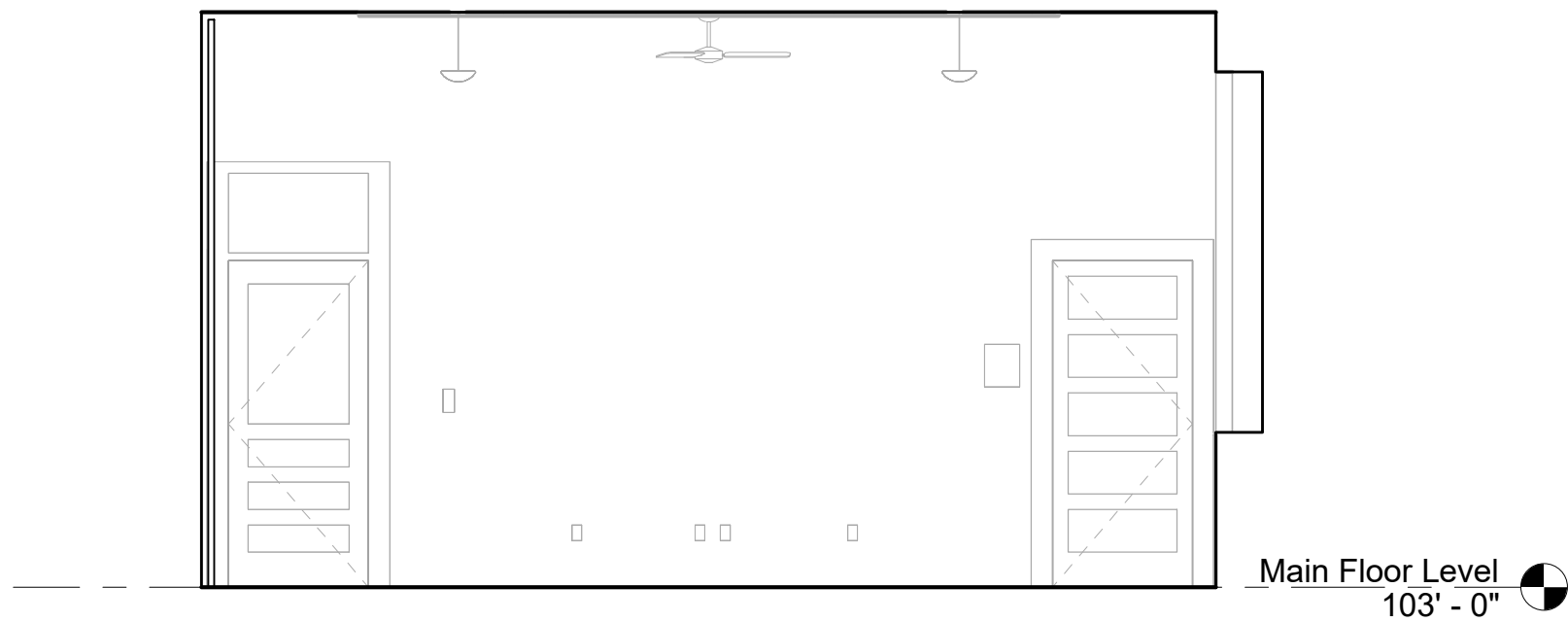
6 **SALVAGED TREE - SIDE BRACING**
1 1/2" = 1'-0"



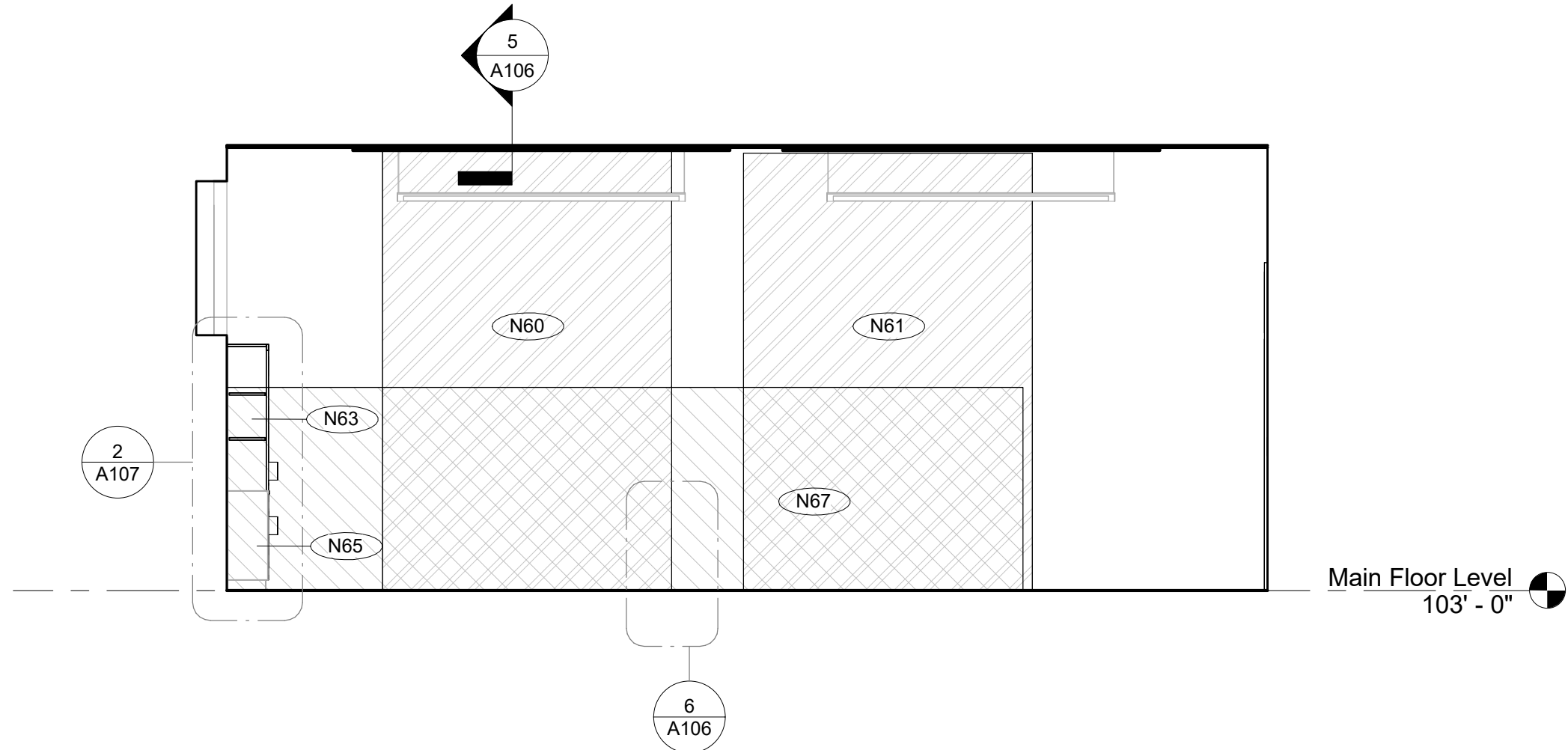
5 **SALVAGED TREE - TOP BRACING**
3" = 1'-0"



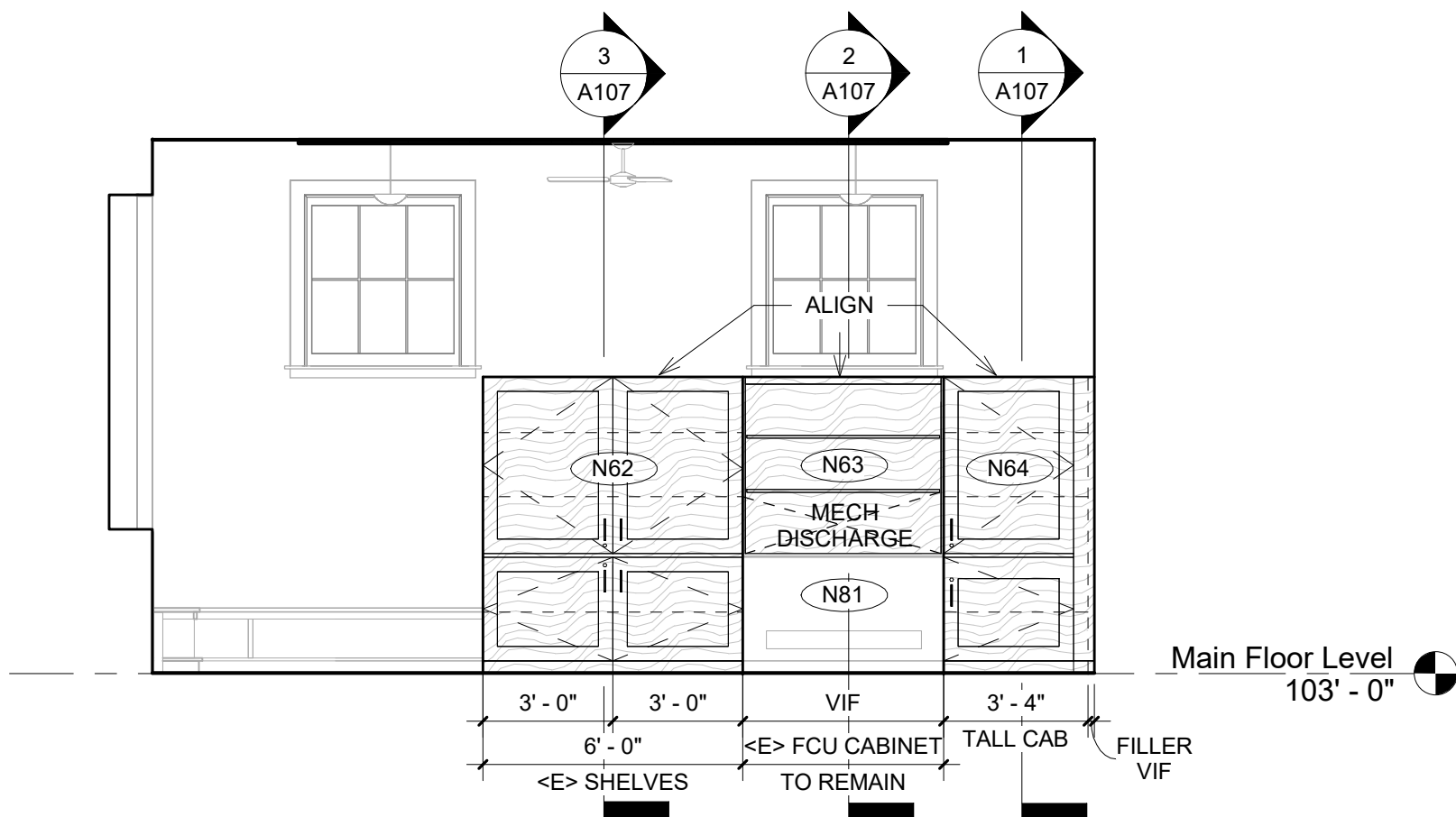
4 **ELEVATION - JUNIOR'S NORTH**
1/4" = 1'-0"



3 **ELEVATION - JUNIOR'S WEST**
1/4" = 1'-0"



2 **ELEVATION - JUNIOR'S SOUTH**
1/4" = 1'-0"



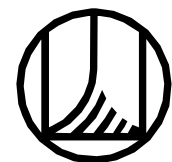
1 **ELEVATION - JUNIOR'S EAST**
1/4" = 1'-0"

GENERAL NOTES - ELEVATIONS

- COORDINATE ROUGH IN LOCATIONS WITH OWNER OF ALL WALL MOUNTED ELEMENTS
- ALL ELEMENTS TO BE INSTALLED PER ADA MOUNTING HEIGHTS & DIMENSIONS.
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- ALL EXPOSED CASEWORK SURFACES TO BE FINISH FACES.
- REFER TO SHEET G001 FOR WALL PARTITION ASSEMBLIES.
- FIELD VERIFY ALL DOOR TYPES & DIMENSIONS PRIOR TO COMMENCING WORK.
- PROVIDE DOOR STOPS AT ALL INTERIOR DOORS.
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- ALL GLAZING SHALL BE TEMPERED AT AREAS CONSIDERED HAZARDOUS LOCATIONS INCLUDING BUT NOT LIMITED TO ALL GLAZING IN DOORS AND WINDOWS WITHIN 24" OF DOORS (IN SAME PLANE AS DOORS).
- FIELD VERIFY ALL WINDOW TYPES & DIMENSIONS PRIOR TO COMMENCING WORK.
- ALL MATERIAL TRANSITIONS TO BE INSTALLED ADA COMPLIANT

KEY NOTES

N60	REINSTALLED SALVAGED TREE SCULPTURE F18
N61	ALTERNATIVE LOCATION FOR SALVAGED TREE SCULPTURE
N62	ALTERED EXISTING BOOKCASE SEE CASEWORK DETAILS A107
N63	NEW SHELVING WITH (2) ADJUSTABLE SHELVES ABOVE FCU CABINET
N64	NEW TALL CABINET CASEWORK, MATCH DOOR STYLE AND PULLS TO EXISTING CASEWORK
N65	EXISTING FCU CABINET TO REMAIN, ALTER TOP PANEL AS NEEDED TO ALLOW NEW DOORS AND NEW CASEWORK TO SIT FLUSH AGAINST WOOD
N67	PATCH AND REPAIR EXISTING WALL IN-KIND WHERE STAIR LANDING AND HANDRAIL WERE REMOVED, PAINT FULL WALL
N81	PATCHING / REPAIRING / SANDING / STAINING <E> FCU CABINET FROM REMOVAL OF SIDE. 1'-5" MIN CLEAR SPACE ABOVE <E> FCU CABINET FOR AIR DISCHARGE FROM VENT LOCATED ON THE TOP OF CABINET



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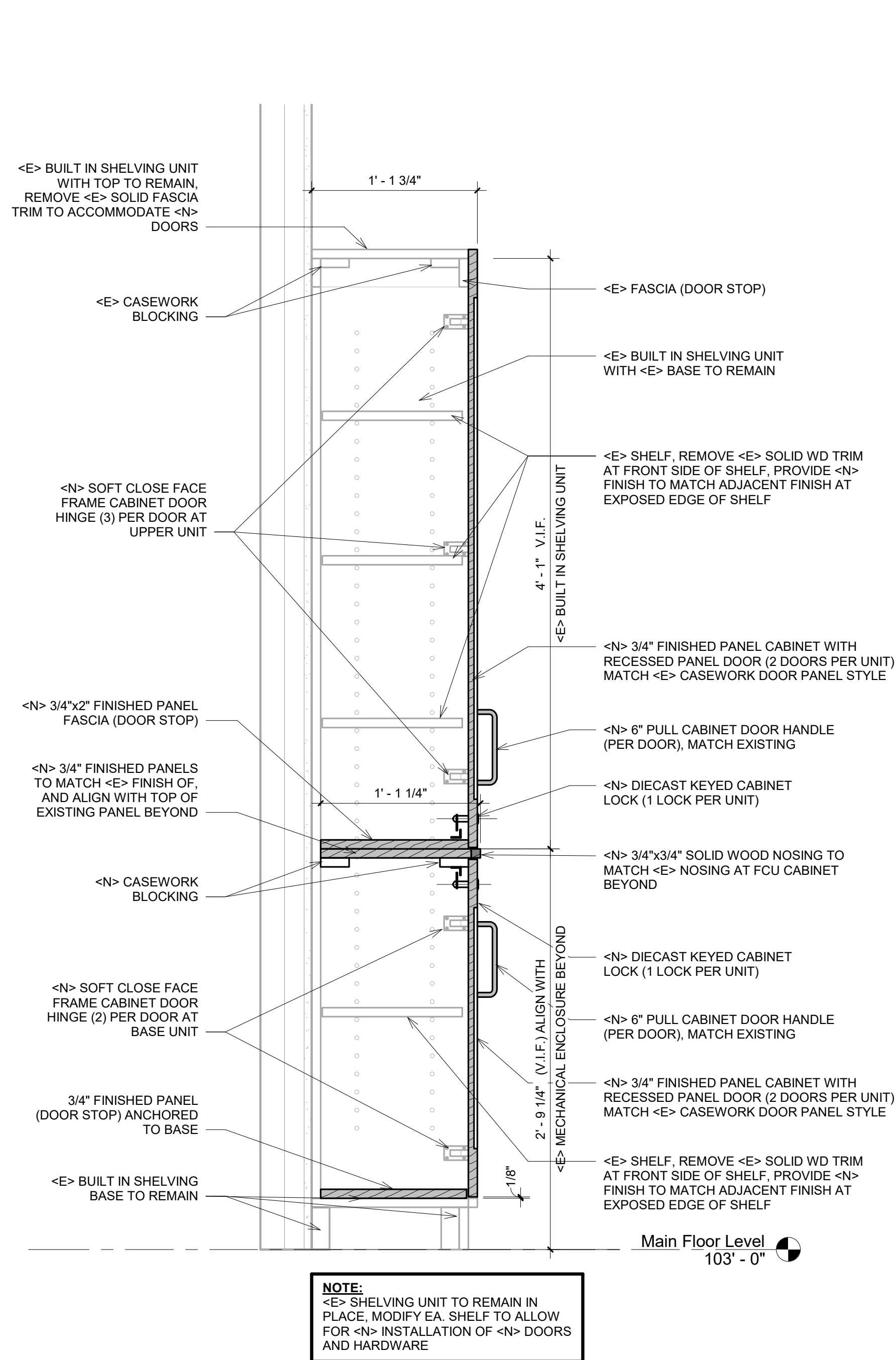
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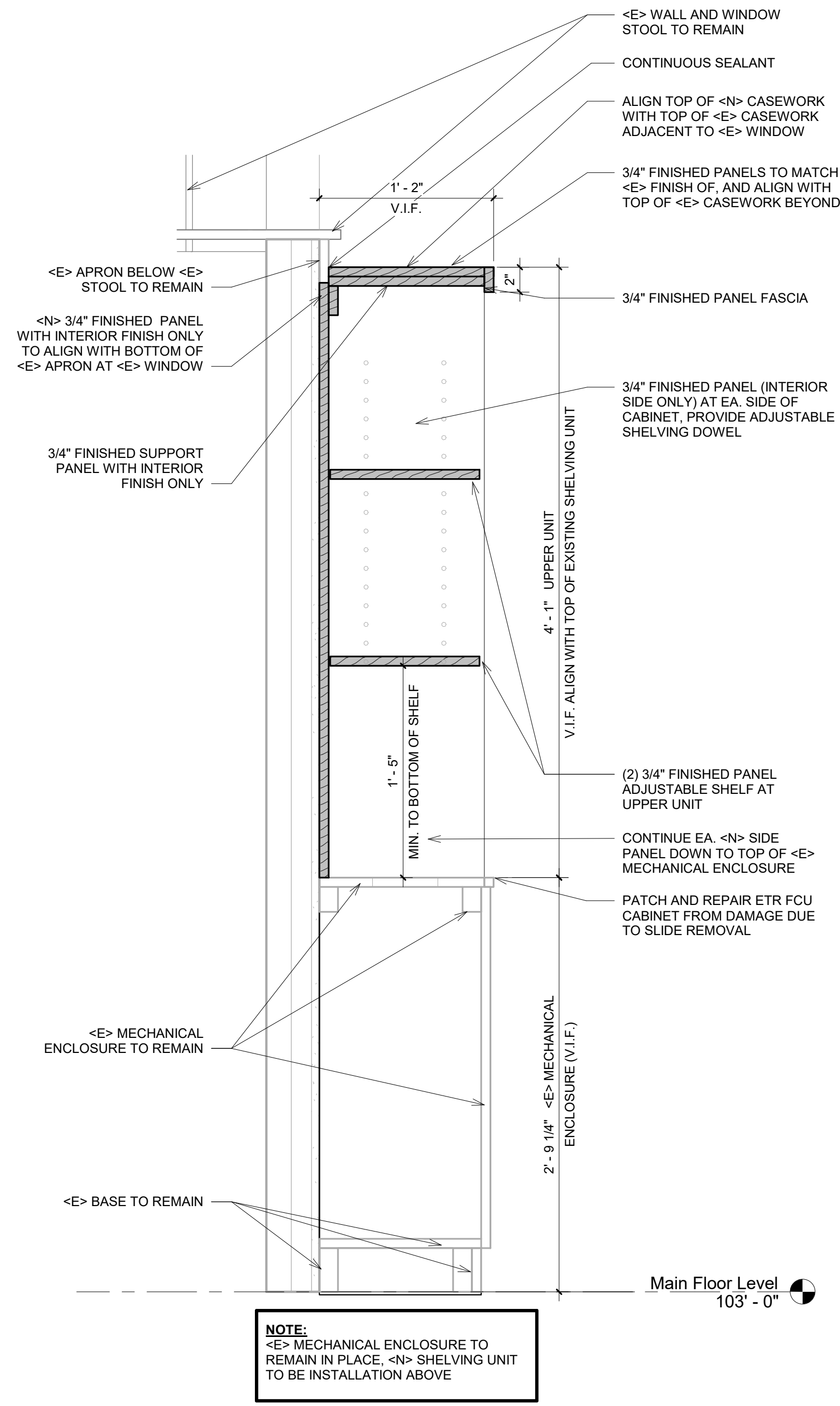
ELEVATION "J"
ROOM

A106

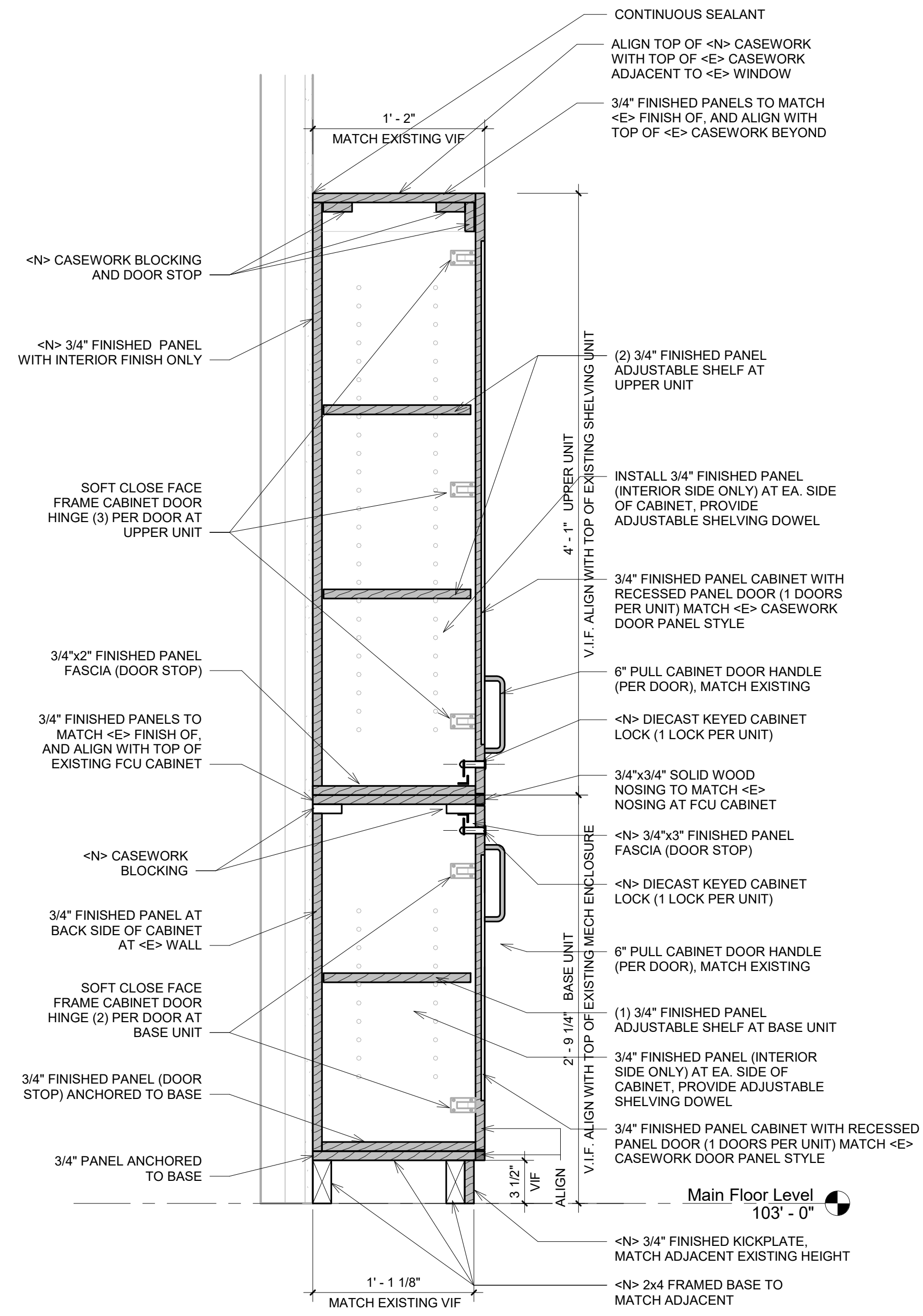
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3 J ROOM NEW DOORS AT EXISTING BOOKCASE UNIT
1 1/2" = 1'-0"



2 J ROOM NEW SHELVING ABOVE EXISTING FCU
1 1/2" = 1'-0"



1 J ROOM NEW BOOKCASE UNIT
1 1/2" = 1'-0"



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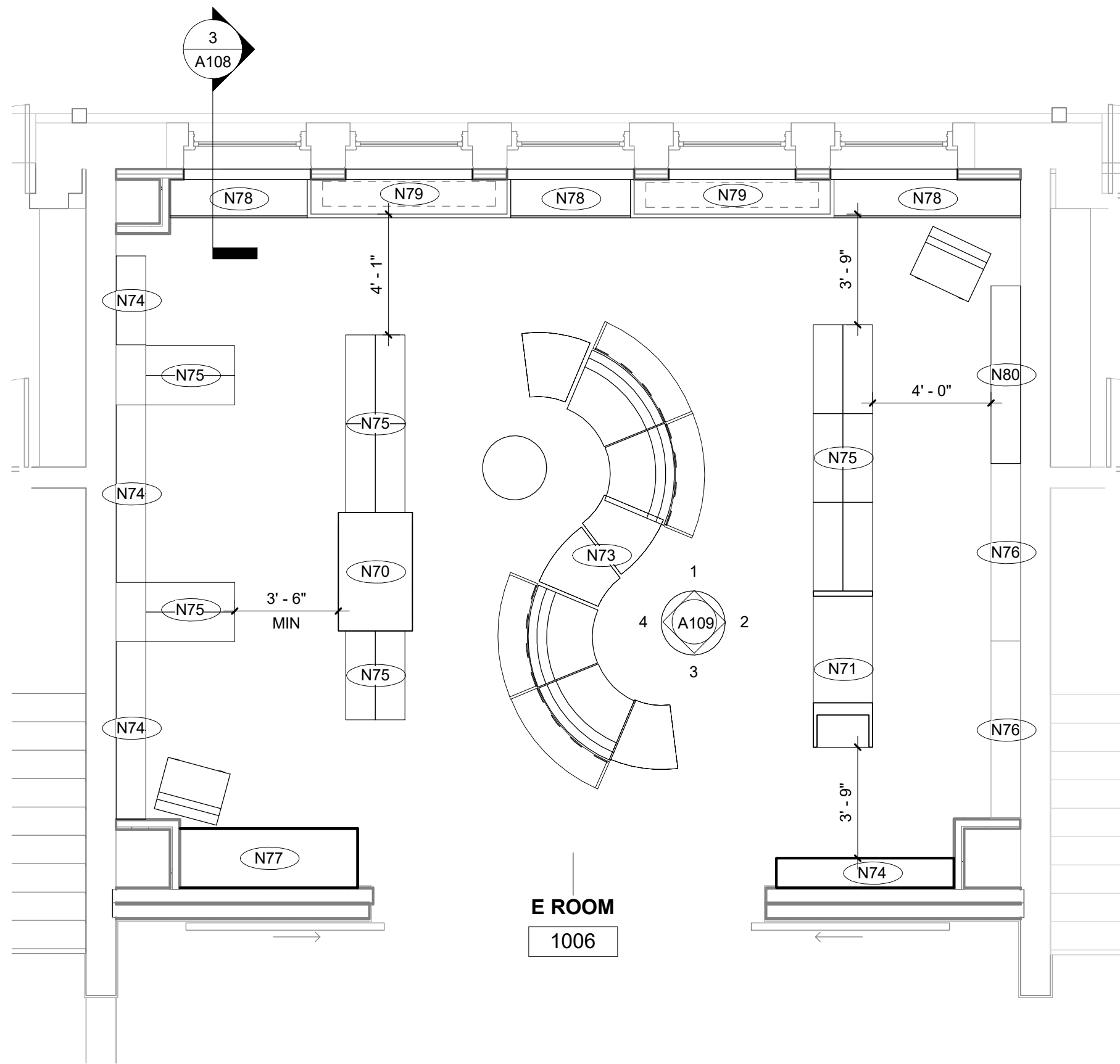
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DETAILS "J" ROOM



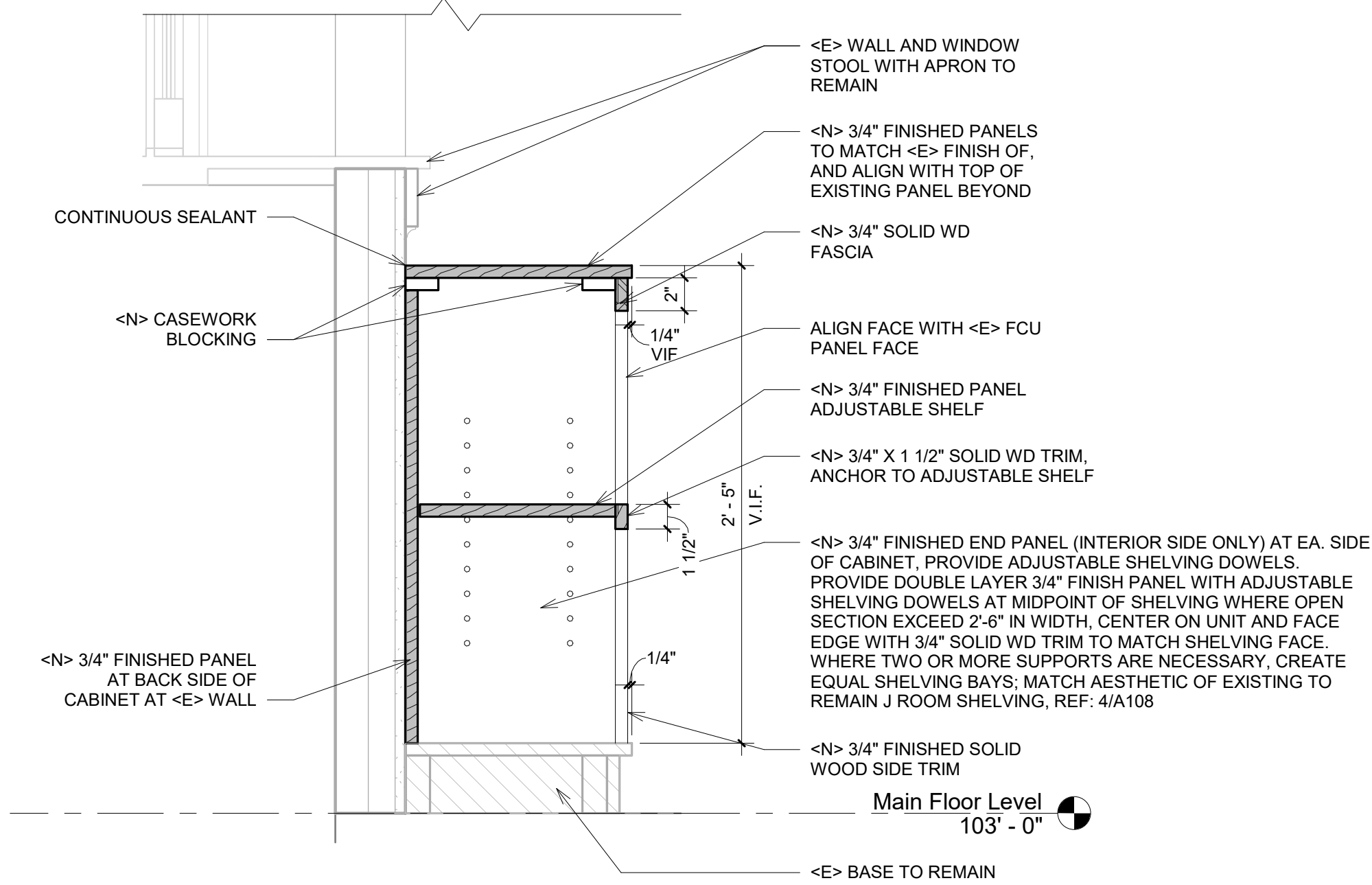
4 J ROOM SHELVING UNIT

NTS
*NEW CASEWORK TO MATCH AESTHETICS OF EXISTING CASEWORK. PHOTOGRAPH ABOVE OF EXISTING J ROOM SHELVING UNIT FOR REFERENCE



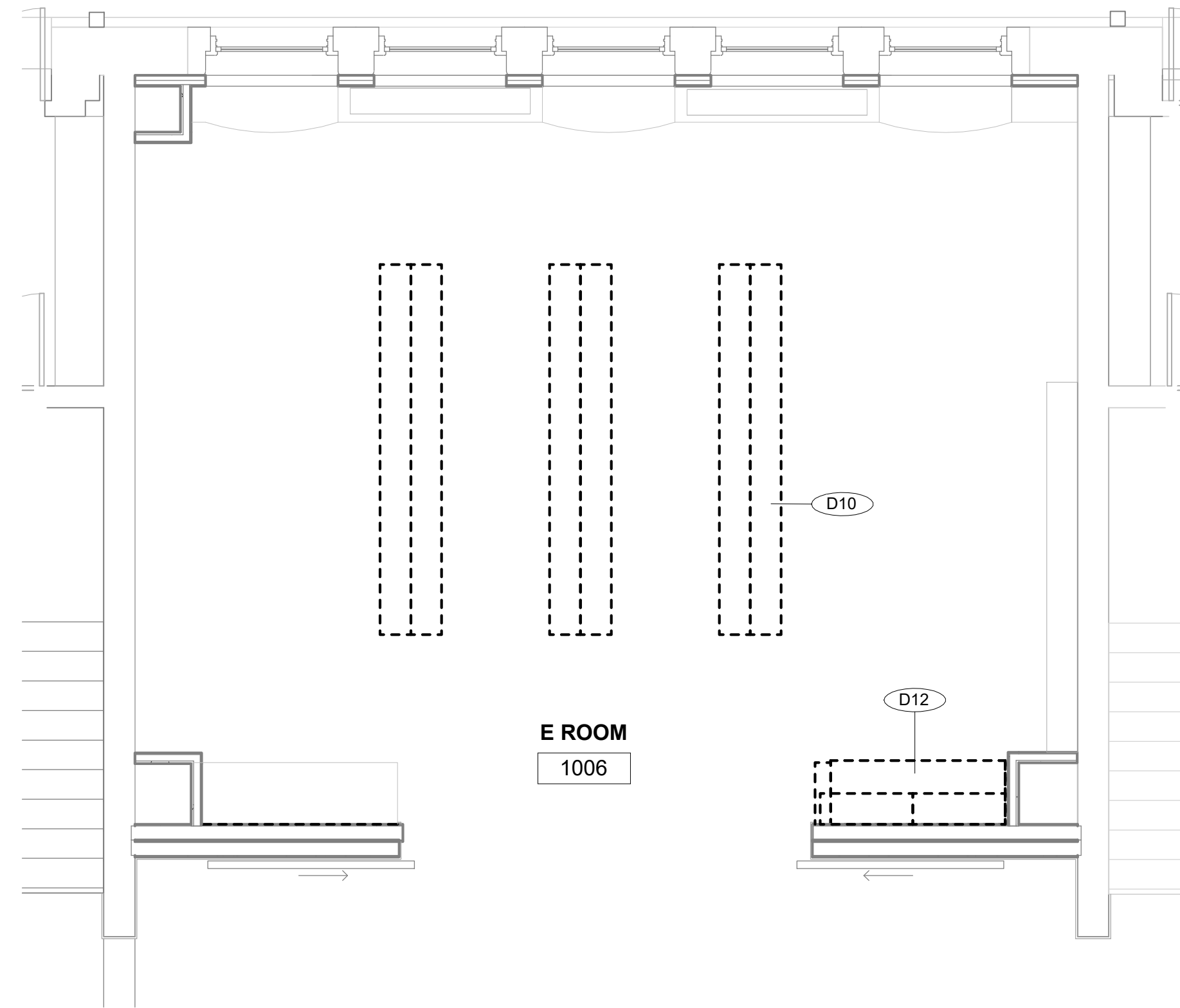
2 ENLARGED CHILDREN'S FLOOR PLAN

1/4" = 1'-0"



3 E ROOM SHELVING

1 1/2" = 1'-0"



1 ENLARGED CHILDREN'S FLOOR PLAN - DEMO

1/4" = 1'-0"

GENERAL NOTES - FLOOR PLANS

1. REFER TO SHEET G001 FOR WALL TYPES.
2. ALL NEW ELECTRICAL RECEPTACLES AND CONDUIT THAT ARE LOCATED IN EXISTING PLASTER/MASONRY WALLS SHALL BE RECESSED IN EXISTING WALL. PATCH AND REPAIR WALL AT NEW RECEPTACLES AND CONDUIT RUN.
3. PATCH ALL MISCELLANEOUS HOLES UON
4. PATCH / REPAIR EXISTING FINISHES TO REMAIN AS NOTED; TRANSITION TO NEW FINISHES TO BLEND IN AND APPEAR SEAMLESS.
5. PROTECT EXISTING TRIM AND SILLS AT ALL EXISTING WINDOWS.
6. HOLD PRE-DEMOLITION SITE WALK WITH OWNER.
7. ALL EXISTING ELEMENTS ARE SHOWN BASED ON AVAILABLE INFORMATION, NON-DESTRUCTIVE FIELD OBSERVATION, AND PREVIOUS DRAWINGS. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONSTRUCTION AND NOTIFY OWNER OF ANY DISCREPANCY BETWEEN DESIGN DOCUMENTS AND ACTUAL FIELD CONDITIONS AND REQUEST CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION.
8. DRAWINGS SEEK TO REPRESENT THE SCOPE AND RANGE OF DEMOLITION REQUIRED BUT ARE NOT INTENDED TO BE INCLUSIVE OF ALL NECESSARY WORK. DIMENSIONS SHOWN FOR DEMOLITION ARE APPROXIMATE. VERIFY IN FIELD EXTENT OF DEMOLITION REQUIRED TO ACHIEVE <N> WORK.
9. VERIFY DIMENSIONS OF ALL EXISTING CONSTRUCTION IN FIELD. EXPECT THAT EXISTING BUILDING ELEMENTS MAY NOT BE PLUMB, LEVEL OR SQUARE. GC SHALL BE RESPONSIBLE FOR PROTECTING ALL ELEMENTS/MATERIALS TO REMAIN.
11. FOR ALL ITEMS TO BE REMOVED AND SALVAGED FOR REINSTALLATION, PROVIDE TEMPORARY, SECURE, WEATHERPROOF STORAGE UNTIL REINSTALLATION
12. WINDOWS AND DOORS OCCUPY EXISTING FRAMED OPENINGS UON - VERIFY OPENING DIMENSIONS IN FIELD. FIELD VERIFY ALL DOOR TYPES & DIMENSIONS PRIOR TO COMMENCING WORK.
13. REPAIR / REPLACE ALL FINISHES AFFECTED BY DEMOLITION AND CONSTRUCTION WORK IN-KIND TO MATCH ADJACENT, UON.
14. ADA COMPLIANT MTL SCHLUTER TRANSITIONS BETWEEN ALL FLOORING CHANGES. ALL FLOOR TRANSITIONS TO ALIGN WITH CENTER OF DOOR IN CLOSED POSITION.
15. REFER TO SEPARATE FURNITURE PACKAGES FOR NUMBERED REFERENCES AFTER FURNITURE ITEMS IN KEYNOTES.

LEGEND: FLOOR PLANS

- = EXISTING CONSTRUCTION TO REMAIN
- = NEW CONSTRUCTION, RE: G001 FOR WALL TYPES
- = EXIST WALL CONSTRUCTION TO BE REMOVED
- = NEW DOOR, RE: DOOR TYPE FOR DOOR SIZE AND TYPE.
- = EXISTING DOOR TO BE REMOVED

KEY NOTES

D10	REMOVE, SALVAGE, AND PROTECT METAL BOOK STACKS, RETURN TO OWNER
D12	REMOVE COUNTERTOP, BRACKETS, AND LOWER CABINETS - RETURN TO OWNER. REMOVE AND SALVAGE UPPER CABINETS FOR REINSTALLATION IN UNDERSTORY ROOM
N70	NEW SEATING CUBE F20
N71	NEW SEATING CUBE WITH DISPLAY CASE F21
N73	NEW ARRANGEABLE SEATING AND SHELVING F23
N74	NEW 84" 6-SHELF UNITS W/ WOOD VENEER PANELS TO MATCH EXISTING, FULL SHELVING SHOWN FOR REFERENCE, COORD WITH OWNER ON TYPE AND QUANTITY OF BOOK STACK ACCESSORIES AND SHELVES
N75	NEW 42" 3-SHELF UNITS W/ WOOD VENEER PANELS TO MATCH EXISTING, FULL SHELVING SHOWN FOR REFERENCE, COORD WITH OWNER ON TYPE AND QUANTITY OF BOOK STACK ACCESSORIES AND SHELVES
N76	EXISTING TO REMAIN 6-SHELF STACK, ALTERED TO ADD AN ADDITIONAL ADDER
N77	ETR COUNTER, REFINISH WITH NEW PLAM, SAND AND STAIN ETR WD DETAIL
N78	NEW SHELVING UNIT BUILT INTO EXISTING SEATING SPACE, ADD CENTER SUPPORTS WHERE UNSUPPORTED SECTIONS EXCEED 2'-6", CREATE EQUAL BAYS RE: 3/A108
N79	ETR FCU CABINET
N80	NEW ADDER SHELF TO BE CONNECTED WITH ETR 6-SHELF (2) UNITS

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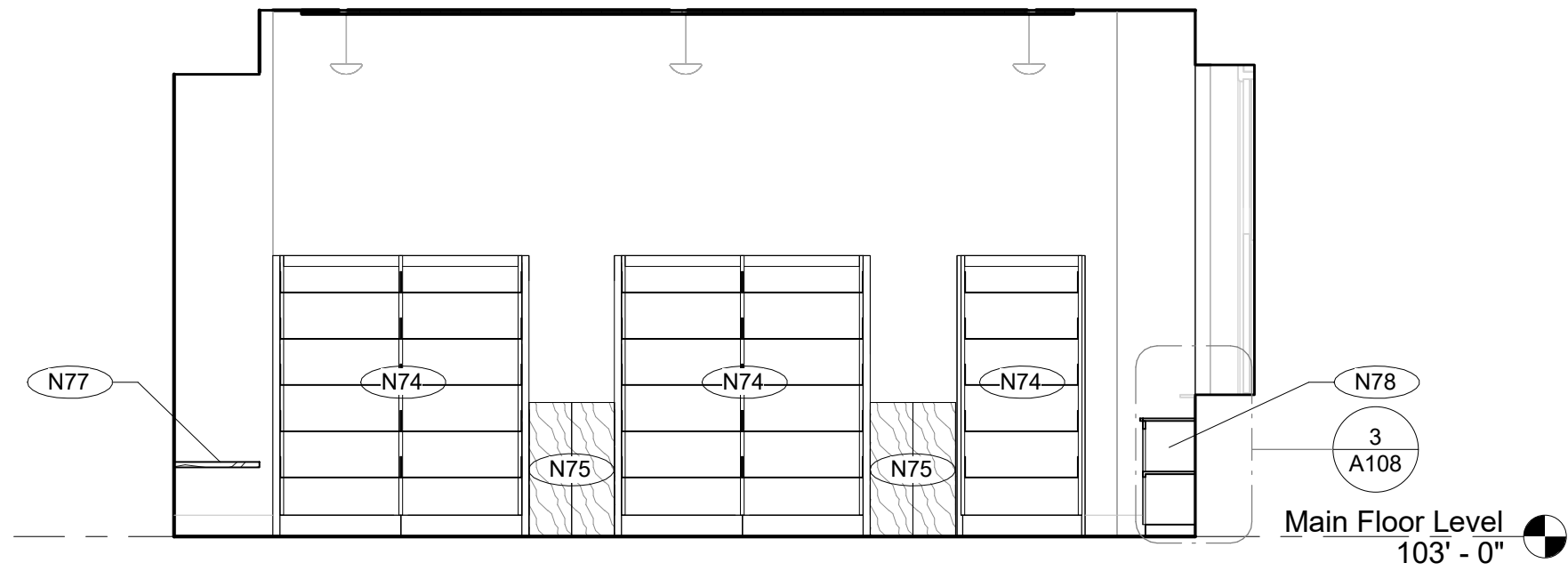
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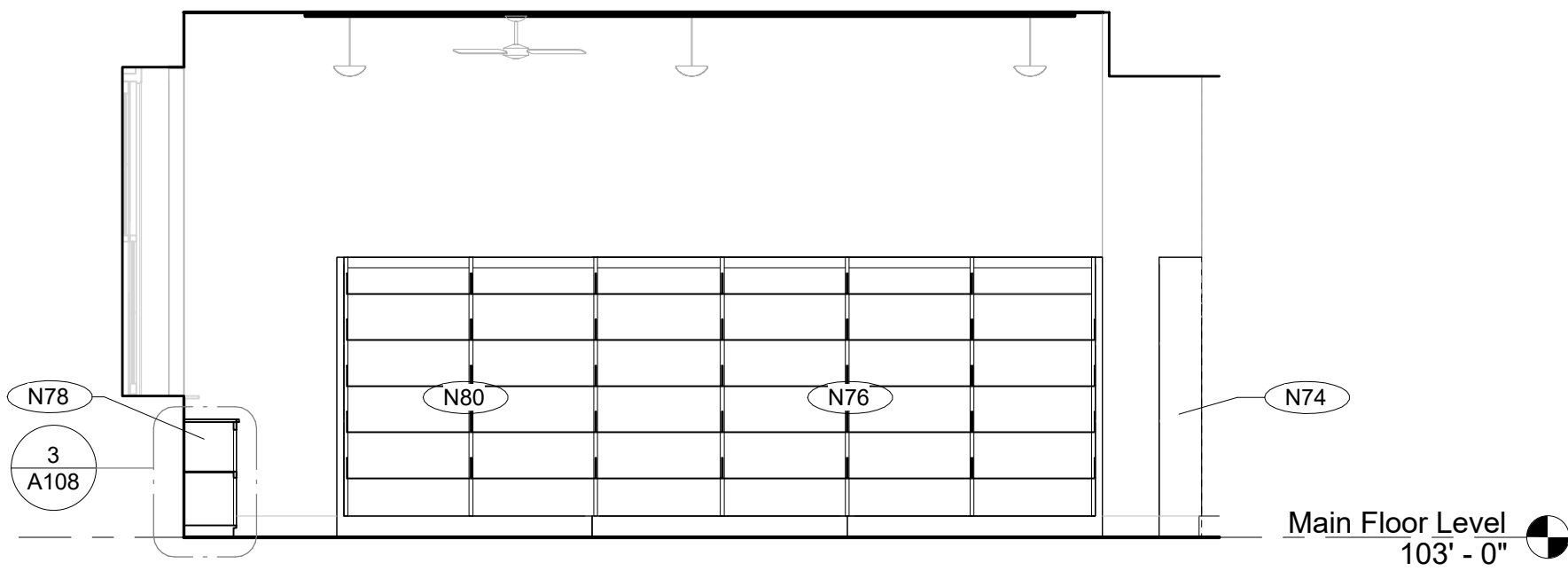
ENLARGED "E"
ROOM

A108

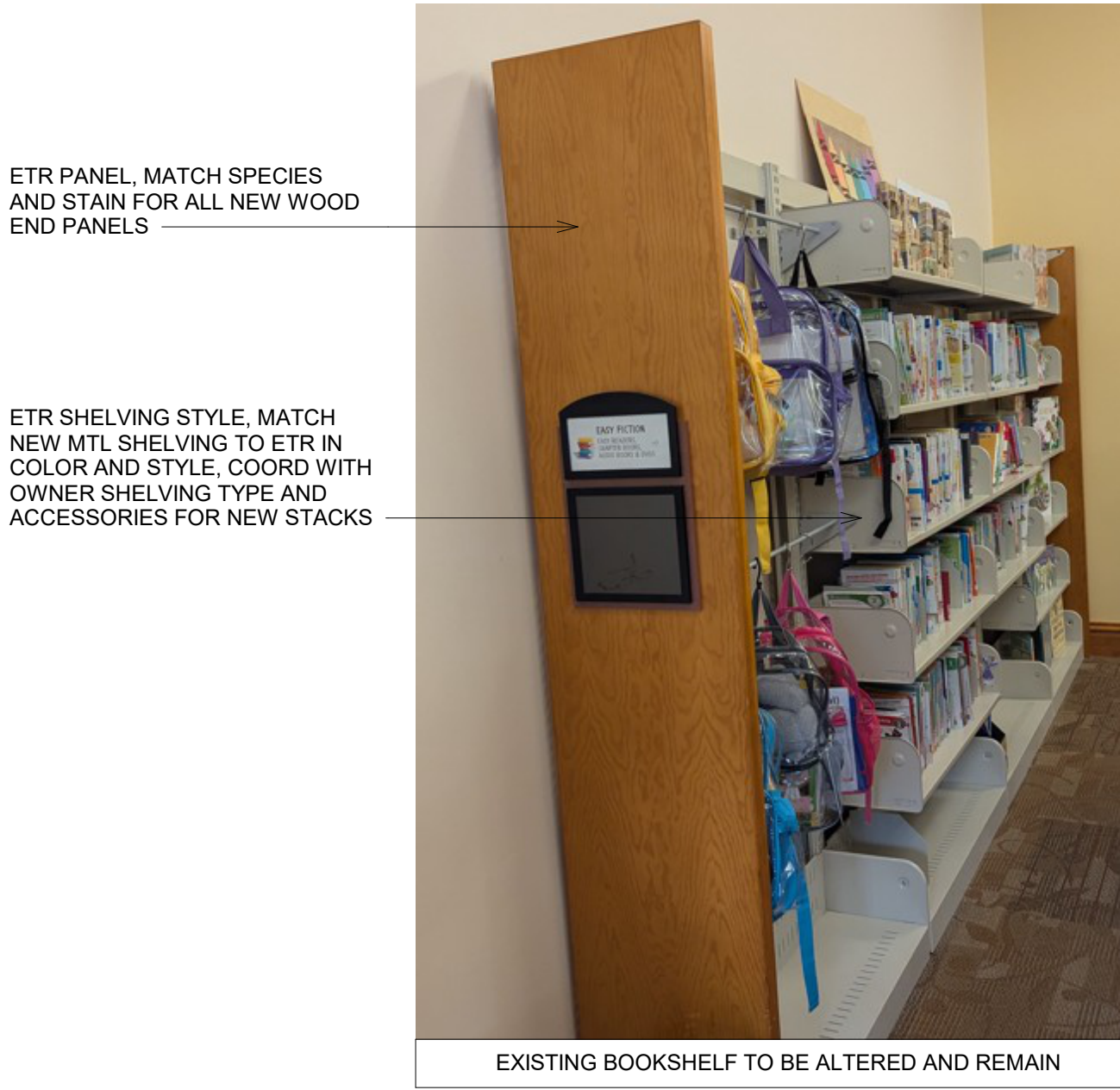
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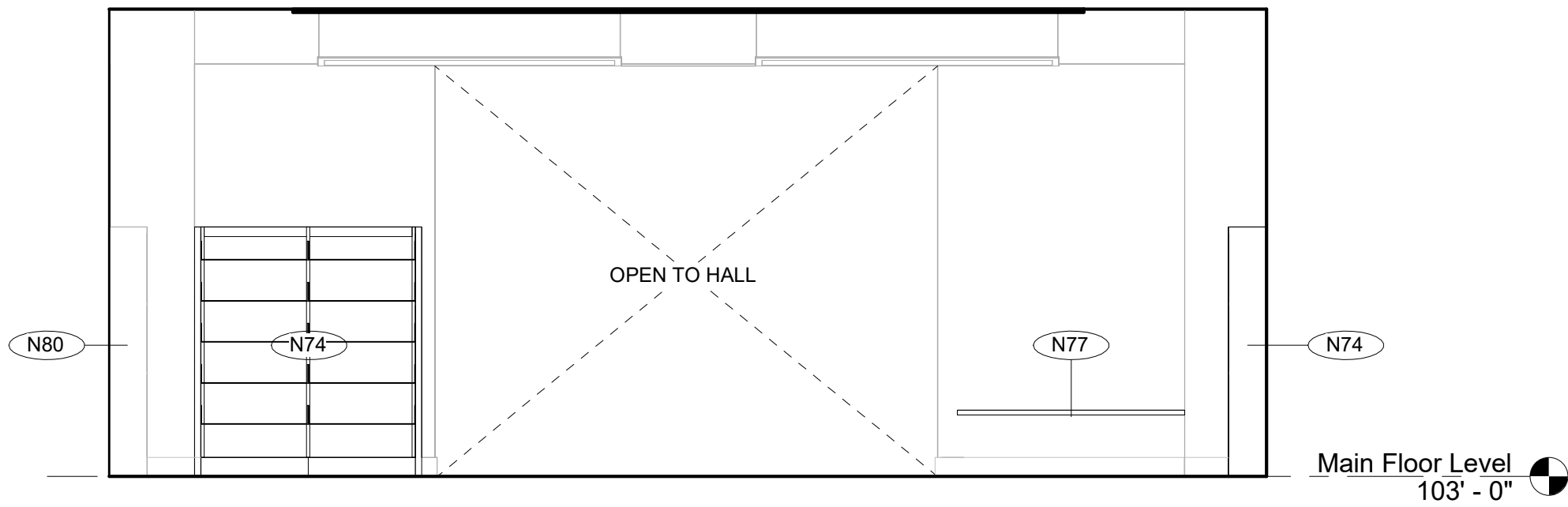
4 ELEVATION - CHILDREN'S NORTH
1/4" = 1'-0"



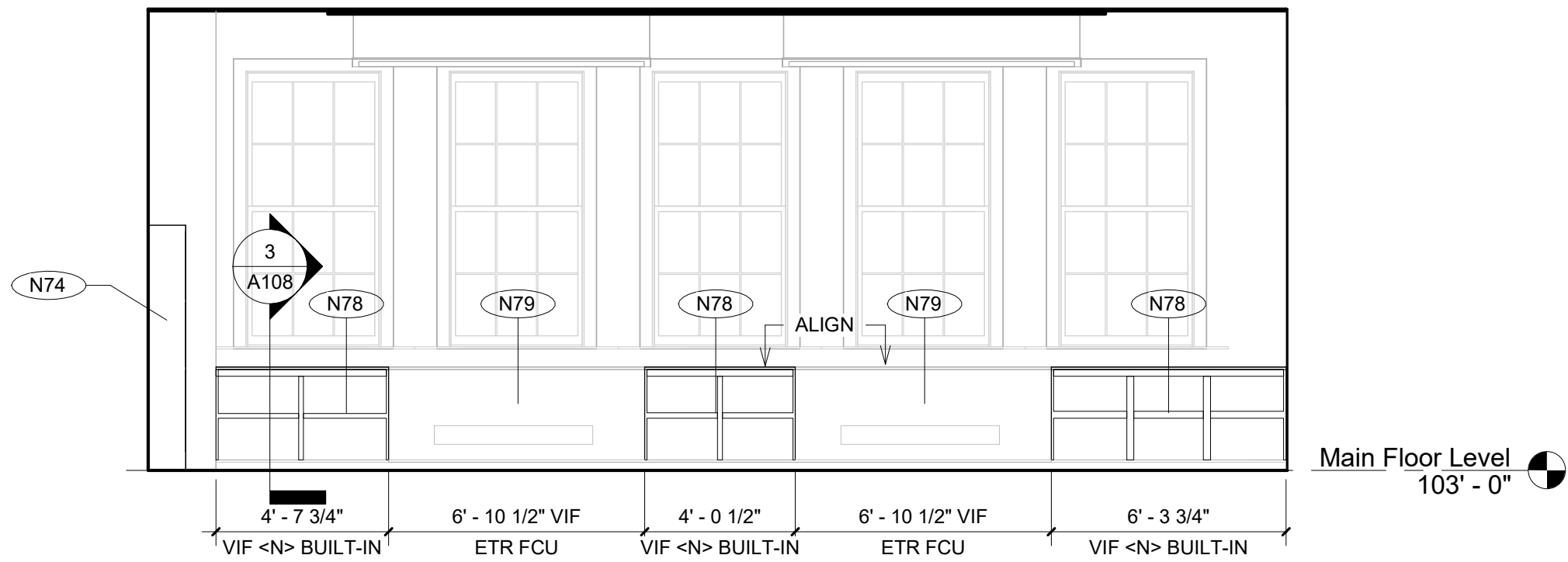
2 ELEVATION - CHILDREN'S SOUTH CENTER
1/4" = 1'-0"



5 EXISTING SHELVING TO MATCH
1/2" = 1'-0"



3 ELEVATION - CHILDREN'S WEST
1/4" = 1'-0"



1 ELEVATION - CHILDREN'S EAST
1/4" = 1'-0"

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ELEVATIONS "E"
ROOM

A109